



## A. PROJECT INFORMATION

### 1. ZONING DEVELOPMENT REVIEW CASE INFORMATION

Application is: ☒ Development Project ☐ Protest Appeal

ZDR Case Number: BDA-2024-06371

Project Description: USE OF 25'-10 1/4" X 26'-3 3/4" BY 27'-5 1/2" TALL, TWO STORY, TWO CAR DETACHED GARAGE AT REAR OF SINGLE UNIT RESIDENCE

Case Review Date: NOV 2024

### 2. SITE INFORMATION

Development Address: 4103 BEECHWOOD BLVD, Pittsburgh, PA 15207

Parcel (s): 54-L-184

Zoning Designation: RM-M;H

Neighborhood: Greenfield

Registered Community Organization: Greenfield Community Association

Date of Development Activities Meeting: DDD

## B. ZBA REQUESTS

Type of Request: Variance Code Section: 912.04E

Accessory structure exceeds fifteen (15) feet in height.

# NEW RESIDENTIAL GARAGE

## 4103 BEECHWOOD BLVD, PITTSBURGH, PA 15207

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### BUILDING CODE SUMMARY

**PROJECT DESCRIPTION:**  
THIS PROJECT ENTAILS CONSTRUCTION OF AN ATTACHED 2-STORY 2-CAR GARAGE WITH CONNECTING BREEZEWAY AT THE REAR OF AN EXISTING SINGLE FAMILY RESIDENCE.

**PROJECT DETAILS:**  
APPLICABLE CODE: IRC 2018 EXCEPT AS FOLLOWS BY PA CODE TITLE 34 - LABOR AND INDUSTRY PART XIV - UNIFORM CONSTRUCTION CODE 403.21:

- THE PROVISIONS OF CHAPTERS 2-29 AND 31-35 OF THE "INTERNATIONAL BUILDING CODE," EXCEPT THAT IN OCCUPANCIES IN USE GROUP R-3 AND WITHIN DWELLING UNITS IN OCCUPANCIES IN USE GROUP R-2 THE MAXIMUM RISER HEIGHT SHALL BE 8¼ INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES (229 MM). A 1-INCH (25 MM) NOSING SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS.
- THE FOLLOWING SPECIFICATIONS APPLY TO RESIDENTIAL STAIRWAY TREADS AND RISERS.
  - THE MAXIMUM RISER HEIGHT IS 8¼ INCHES. THERE MAY BE NO MORE THAN A ⅜ INCH VARIATION IN RISER HEIGHT WITHIN A FLIGHT OF STAIRS. THE RISER HEIGHT IS TO BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS.
  - THE MINIMUM TREAD DEPTH IS 9 INCHES MEASURED FROM TREAD NOSING TO TREAD NOSING.
  - THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS MAY NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
  - TREADS MAY HAVE A UNIFORM PROJECTION OF NOT MORE THAN 1½ INCHES WHEN SOLID RISERS ARE USED.
  - STAIRWAYS MAY NOT BE LESS THAN 3 FEET IN CLEAR WIDTH AND CLEAR HEADROOM OF 6 FEET 8 INCHES SHALL BE MAINTAINED FOR THE ENTIRE RUN OF THE STAIR.
  - HANDRAILS MAY PROJECT FROM EACH SIDE OF A STAIRWAY A DISTANCE OF 3½ INCHES INTO THE REQUIRED WIDTH OF THE STAIR.

#### STRUCTURAL DESIGN CRITERIA:

DESIGN CODES:  
A. IRC 2018  
B. ANSI/ASCE-7 2016  
C. PA UNIFORM CONSTRUCTION CODE (UCC)

LIVE LOADS:  
A. ROOF LIVE LOAD 20 PSF

SNOW LOAD:  
A. GROUND SNOW (Pg) 30 PSF  
B. EXPOSURE FACTOR (Ce) 1.0  
C. THERMAL FACTOR (Ct) 1.0  
D. SNOW IMPORTANCE FACTOR (Is) 1.0

WIND LOAD:  
A. WIND RISK CATEGORY II  
B. BASIC WIND SPEED 115 MPH  
C. WIND EXPOSURE CAT B  
D. INTERNAL PRESSURE COEFF +/- .18  
E. COMPONENTS AND CLADDING 16 PSF MIN

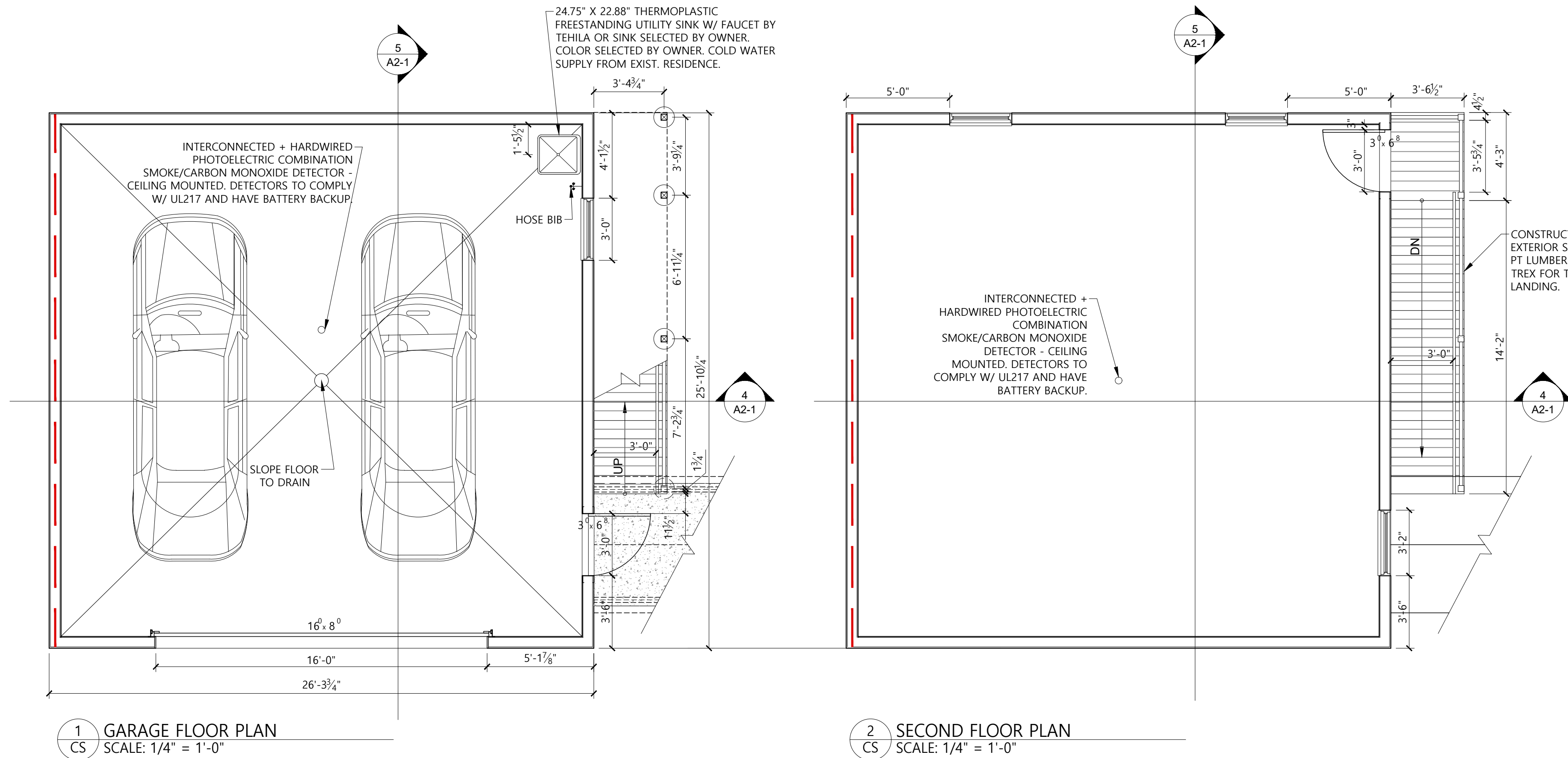
SEISMIC LOAD:  
A. SEISMIC RISK CAT II  
B. SEISMIC IMPORTANCE FACTOR 1.0  
C. Ss 0.090  
D. S1 0.045  
E. SITE CLASS D  
F. Sds 0.096  
G. Sd1 0.072  
H. SEISMIC DESIGN CATEGORY B

PRE-ENGINEERED TRUSS DESIGN LOAD:  
A. TOP CHORD LIVE LOAD: 25PSF  
B. TOP CHORD DEAD LOAD: 10PSF  
C. BOTTOM CHORD LIVE LOAD: 0PSF  
D. BOTTOM CHORD DEAD LOAD: 10PSF

#### FIRE RATINGS OF GARAGE:

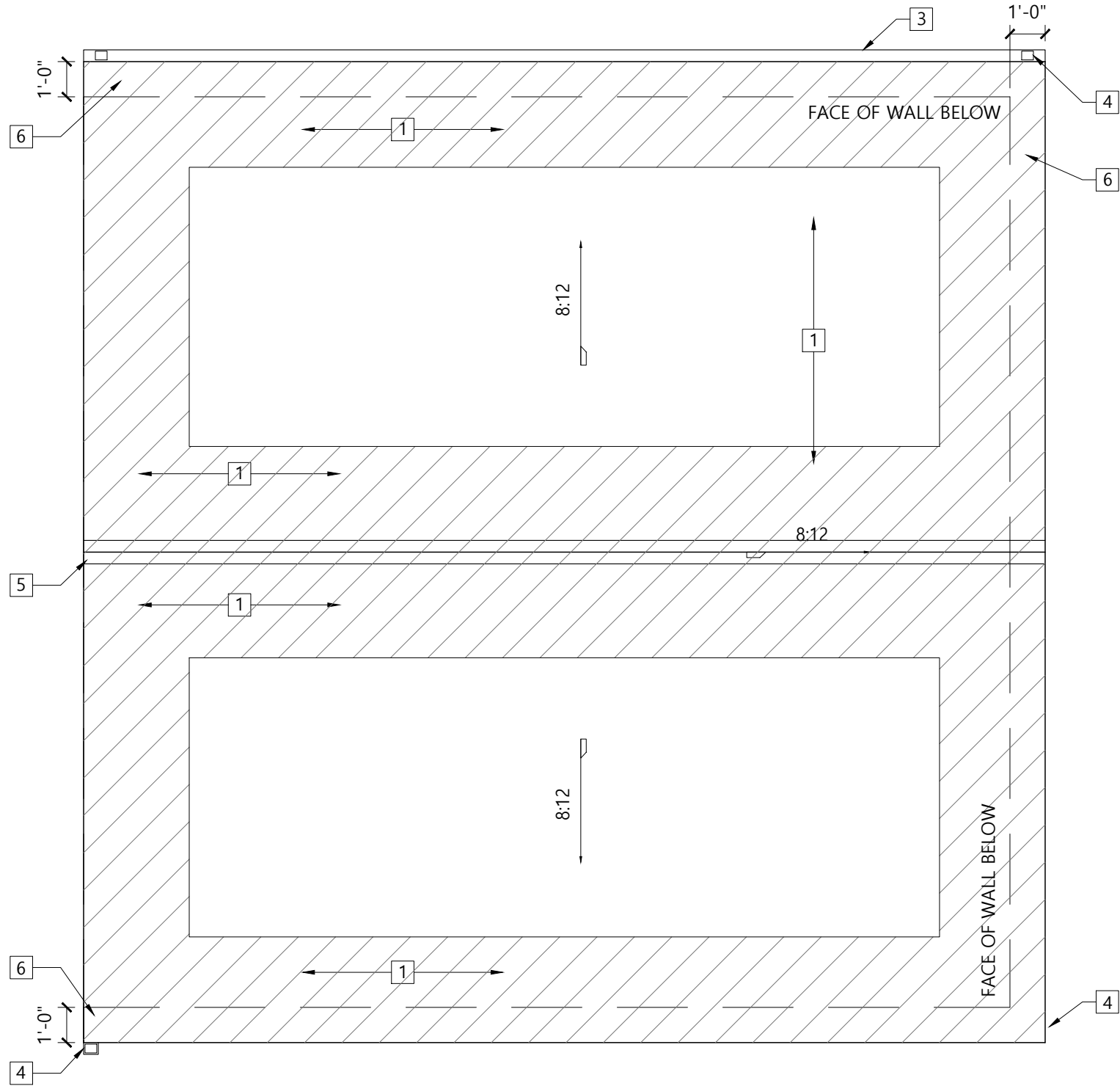
SIDE WALLS LESS THAN 5' FROM PROPERTY LINE ARE FIRE-RESISTANCE RATED PER TABLE R302.1(1)

SIDE WALLS LESS THAN 3' FROM PROPERTY LINE HAVE NO OPENINGS PER TABLE R302.1(1)

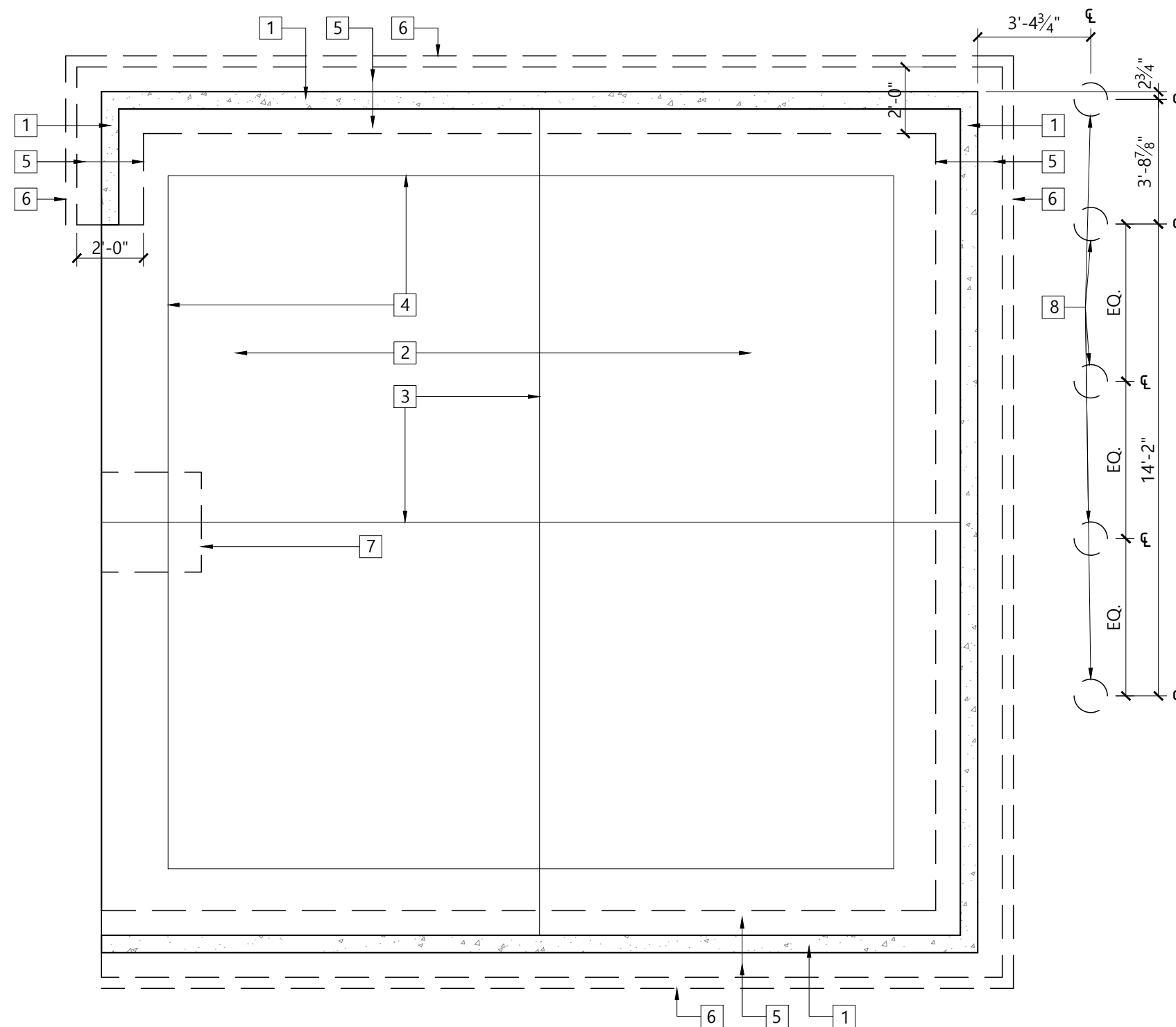


1 GARAGE FLOOR PLAN  
SCALE: 1/4" = 1'-0"

2 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 ROOF PLAN  
SCALE: 1/4" = 1'-0"



4 FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

### DRAWING INDEX

- A1-1 PLANS  
A2-1 ELEVATIONS & SECTIONS  
A3-1 DETAILS

### GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE.
- ALL DIMENSIONS ARE TO FINISHED FACE UNLESS OTHERWISE NOTED.

### PARTITION LEGEND

2x6 WOOD STUDS @ 16" O.C. W/ CDX PLYWOOD SHEATHING & BOARD & BATTEN EXTERIOR & ½" GWB INTERIOR

1-HR RATED WALL, 2x6 WOOD STUDS @ 16" O.C. W/ ½" DENSGLASS EXTERIOR & ½" TYPE 'X' GWB INTERIOR, MEETS UL DESIGN # U309. SEE DETAIL 2/A3-1

### ROOF PLAN KEYNOTES

- 30 YEAR DIMENSIONAL 'AR' SHINGLES OVER 30LB ROOF FELT, COLOR SELECTED BY OWNER
- 4" PRE-FINISHED ALUM. GUTTER W/ FASCIA. COLOR SELECTED BY OWNER
- 5" K STYLE BOX GUTTER
- 4X3 D.S. CONNECTED TO STORM WATER SYS
- CONTINUOUS UNFILTERED RIDGE VENT
- 12" VENTED SOFFIT. ALIGN W/ EXISTING SOFFIT

EXTENT OF ICE AND WATER SHIELD (MIN. 3'-0" WIDE AT ANY LOCATION)

- NOTE:
- ALL NEW ROOF EDGES TO RECEIVE 24 GA. AL-ZN COATED STEEL DRIP EDGE, EXTEND ICE AND WATER SHIELD BEYOND ROOF EDGE PER MFR. RECOMMENDATIONS
  - SEE STRUCTURAL DRAWINGS FOR FRAMING

### FOUNDATION PLAN KEYNOTES

- 6½" THICK POURED CONCRETE FOUNDATION WALL W/ #5s LONGITUDINAL & #4s@18 TRANSVERSE
- 5" POURED CONCRETE SLAB OVER 4" COMPACTED GRAVEL BASE W/ W1.4x1.4 6x6 WIRE MESH
- 1"D. SAWCUT CONTROL JT W/ SEALANT
- 2" XPS RIGID FOAM 24" FROM PERIMETER OF BLOCK
- 12" D X 24" W CONTINUOUS CONCRETE FOOTER W/ (3) #5s LONGITUDINAL & #4s@18 TRANSVERSE. COAT TOP OF FOOTER W/ BITUMINOUS DAMPROOFING FOR CAPILLARY BREAK, TYP
- 4" Ø SCH 40 PERFORATED PVC FOUNDATION DRAIN W/ GEO TECH FABRIC OVER, CONNECT TO EX. STORM WATER SYSTEM OR DAYLIGHT PIPE
- EXISTING. CONC. FOOTER
- 12" Ø X 3'-6" DEEP SONOTUBE

### LOCATION MAP

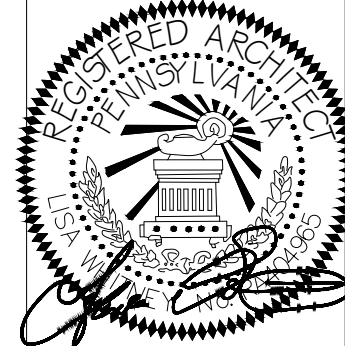


PROJECT # 24-066

JULY 23, 2024

REISSUE DATES

JUNE 2, 2025

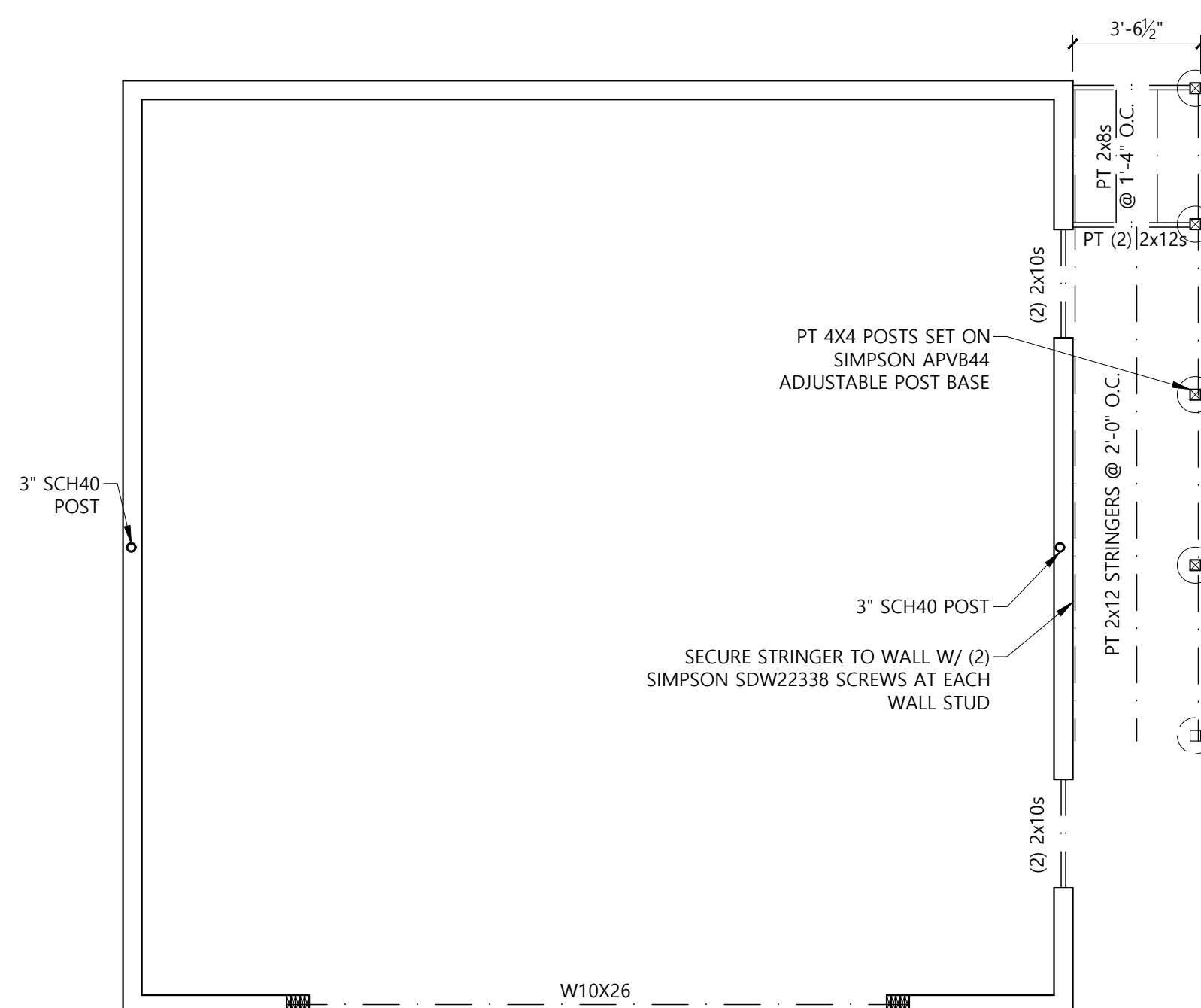
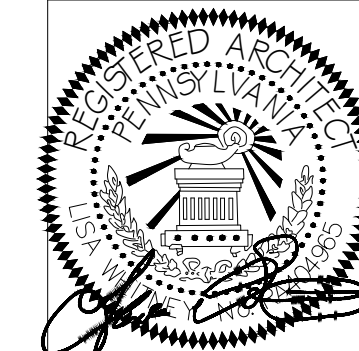


**NEW RESIDENTIAL GARAGE**  
4103 BEECHWOOD BLVD, PITTSBURGH, PA 15207

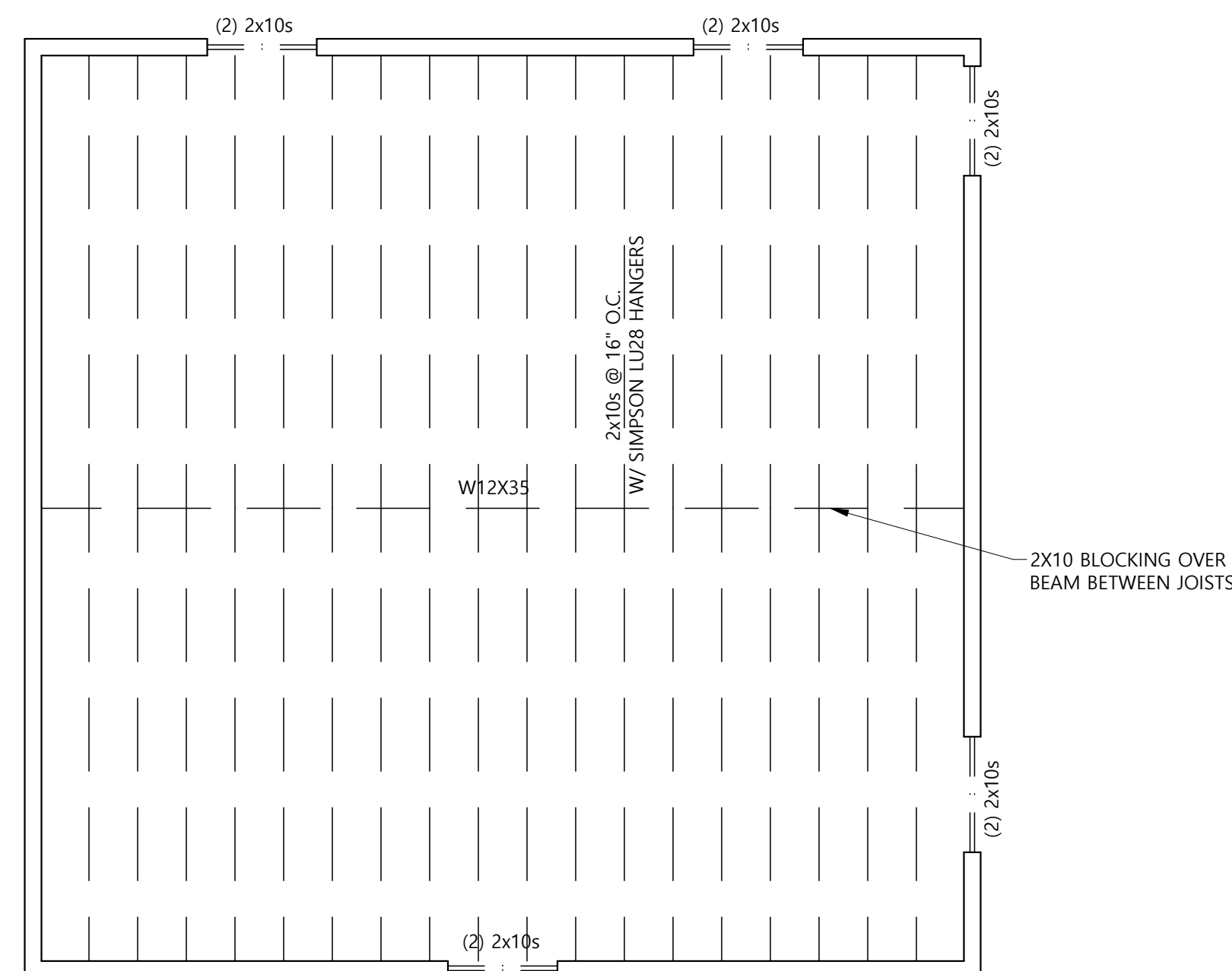
COVER SHEET

CS

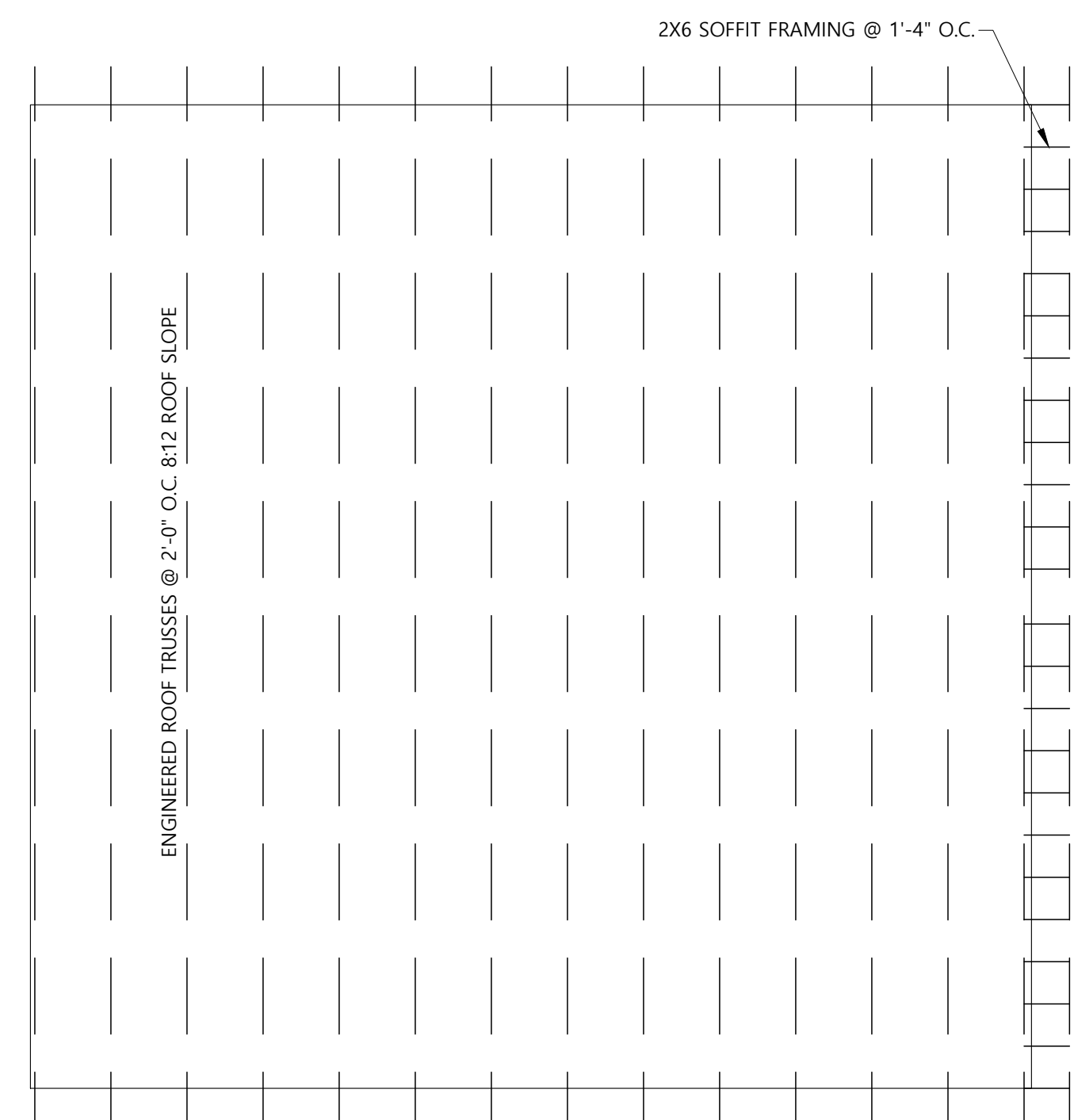




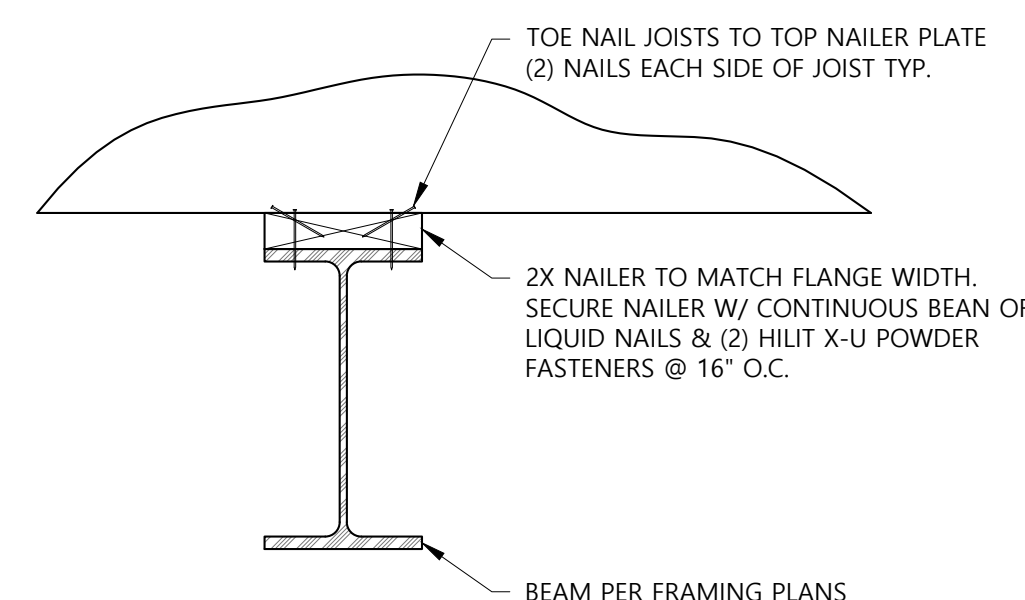
1 GARAGE FRAMING PLAN  
A1-1 SCALE: 1/4" = 1'-0"



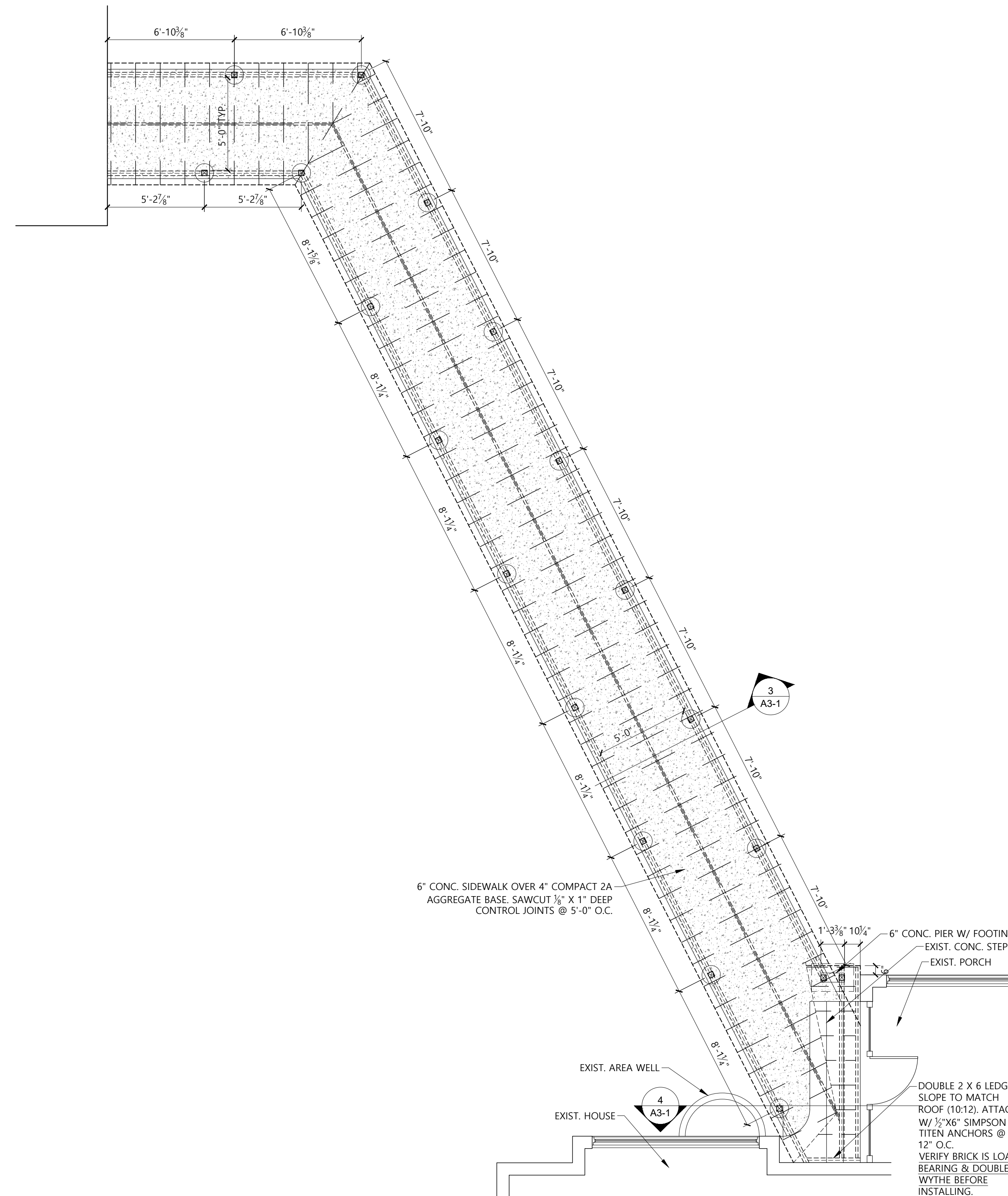
2 SECOND FLOOR FRAMING PLAN  
A1-1 SCALE: 1/4" = 1'-0"



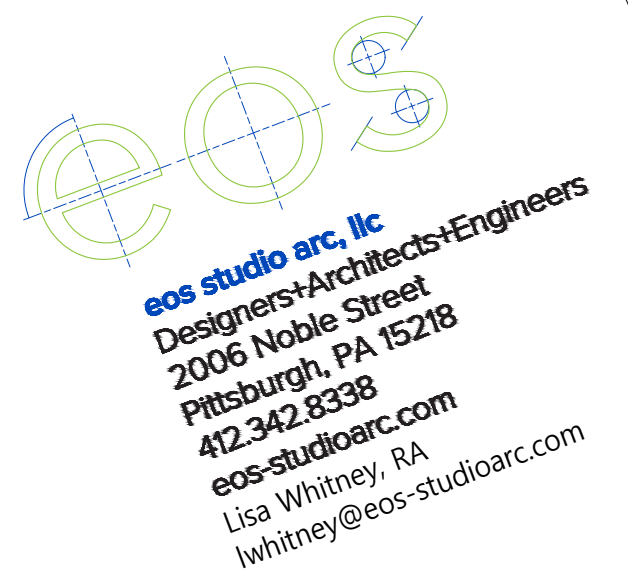
3 ROOF FRAMING PLAN  
A1-1 SCALE: 1/4" = 1'-0"



5 TYPICAL BEAM WOOD NAILER DETAIL  
A1-1 SCALE: 1 1/2" = 1'-0"



4 BREEZEWAY PLAN  
A1-1 SCALE: 1/4" = 1'-0"



## ELEVATION KEYNOTES

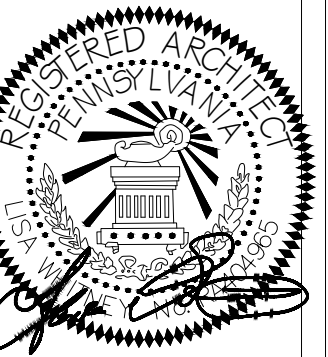
- 1 30 YEAR DIMENSIONAL 'AR' SHINGLES OVER 30LB ROOF FELT, COLOR SELECTED BY OWNER
- 2 CONTINUOUS UNFILTERED RIDGE VENT
- 3 6" ALUMINUM OR VINYL FASCIA W/ METAL DRIP EDGE, COLOR SELECTED BY OWNER
- 4 VENTED VINYL SOFFIT
- 5 4" PRE-FINISHED ALUM. GUTTER, COLOR SELECTED BY OWNER
- 6 5" PRE-FINISHED BOX GUTTER, COLOR SELECTED BY OWNER
- 7 3x4 ALUMINUM DOWNSPOUT TO MATCH GUTTER, CONNECT TO STORMWATER SYSTEM
- 8 HARDIE BOARD & BATTEN SIDING OR SIMILAR, COLOR SELECTED BY OWNER
- 9 HARDIE VERTICAL SIDING PANEL OR SIMILAR, COLOR SELECTED BY OWNER
- 10 5/8" HARDIE TRIM BOARD OR SIMILAR, COLOR SELECTED BY OWNER
- 11 MAIN DOOR SELECTED BY OWNER
- 12 INSULATED GARAGE DOOR SELECTED BY OWNER
- 13 ANDERSEN E-SERIES DOUBLE HUNG WINDOW W/ COLONIAL GRILLES OR EQUIVALENT, DOUBLE PANE LOW-E4, U FACTOR OF .30 OR BETTER, WHITE OR AS SELECTED BY OWNER. SEE ELEVATIONS FOR SIZING
- 14 ANDERSEN E-SERIES DOUBLE HUNG WINDOW W/ COLONIAL GRILLES OR EQUIVALENT, PROVIDE WINDOW OPENING CONTROL DEVICES COMPLYING W/ ASTM F2090, DOUBLE PANE LOW-E4, U FACTOR OF .30 OR BETTER, WHITE OR AS SELECTED BY OWNER. SEE ELEVATIONS FOR SIZING
- 15 WALL MOUNTED OUTDOOR LED WALL SCONCE SELECTED BY OWNER
- 16 NEW CONCRETE FOUNDATION WALL PER STRUCTURAL DRAWINGS
- 17 NEW CONCRETE FOOTER PER STRUCTURAL DRAWINGS
- 18 DOUBLE 2X6 LEDGER FASTENED THROUGH SHEATHING TO STUDS @ BREEZEWAY ROOF.
- 19 2" DIA. PVC VENT PIPE WITH FLEXIBLE BOOT FLASHING

PROJECT # 24-066

JULY 23, 2024

ISSUE DATES

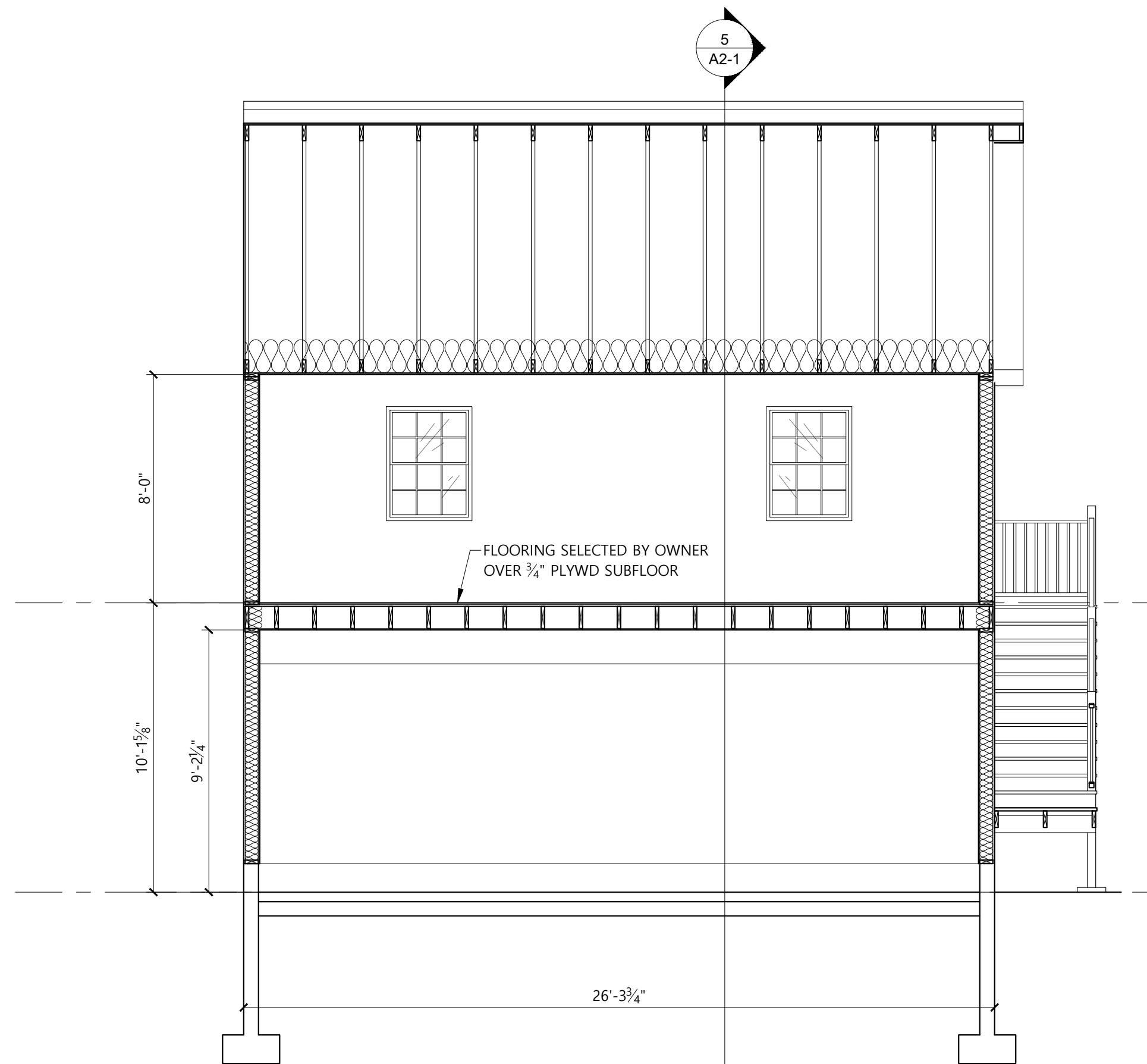
JUN 2, 2025



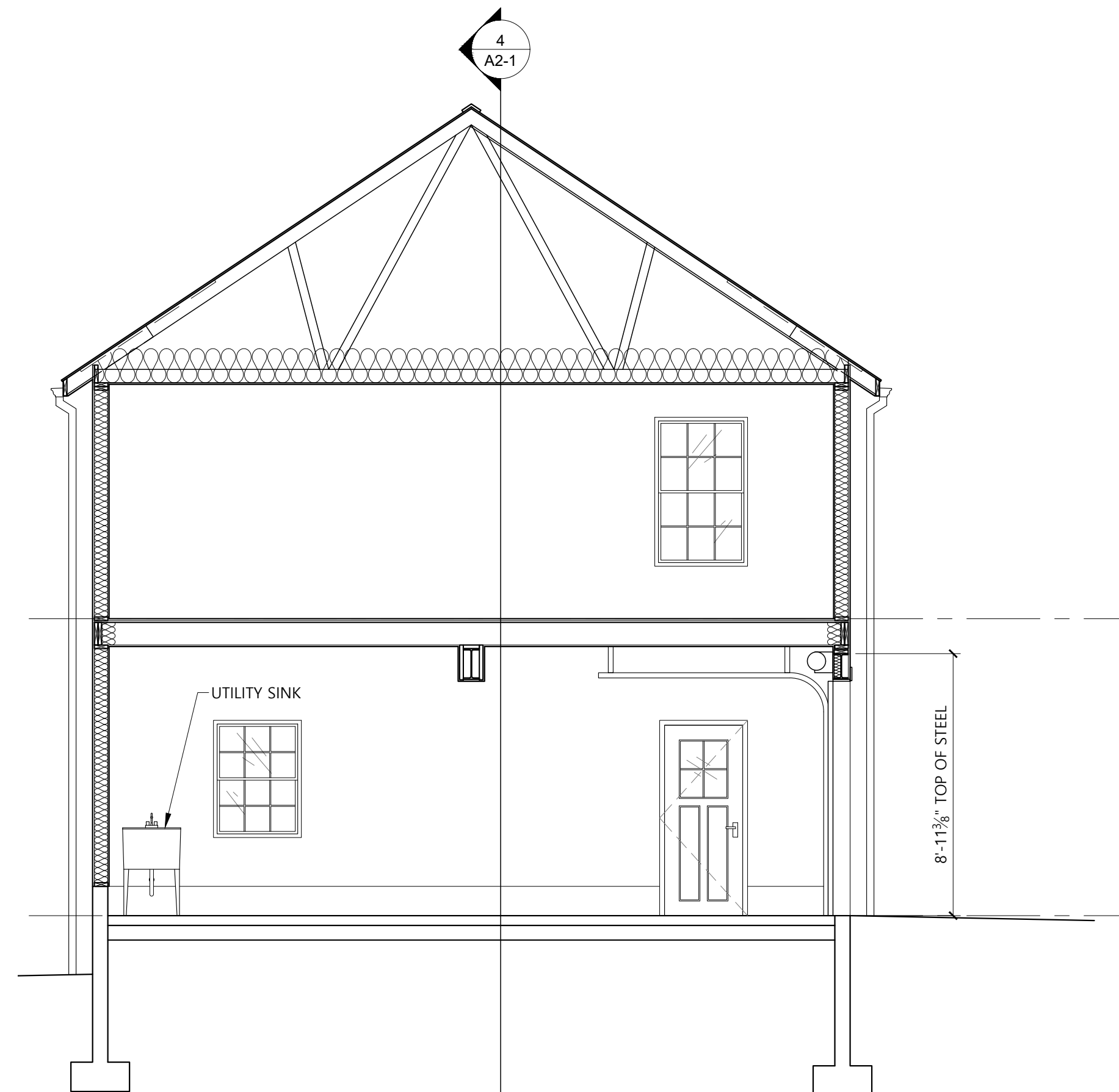
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ELEVATIONS  
& SECTIONS

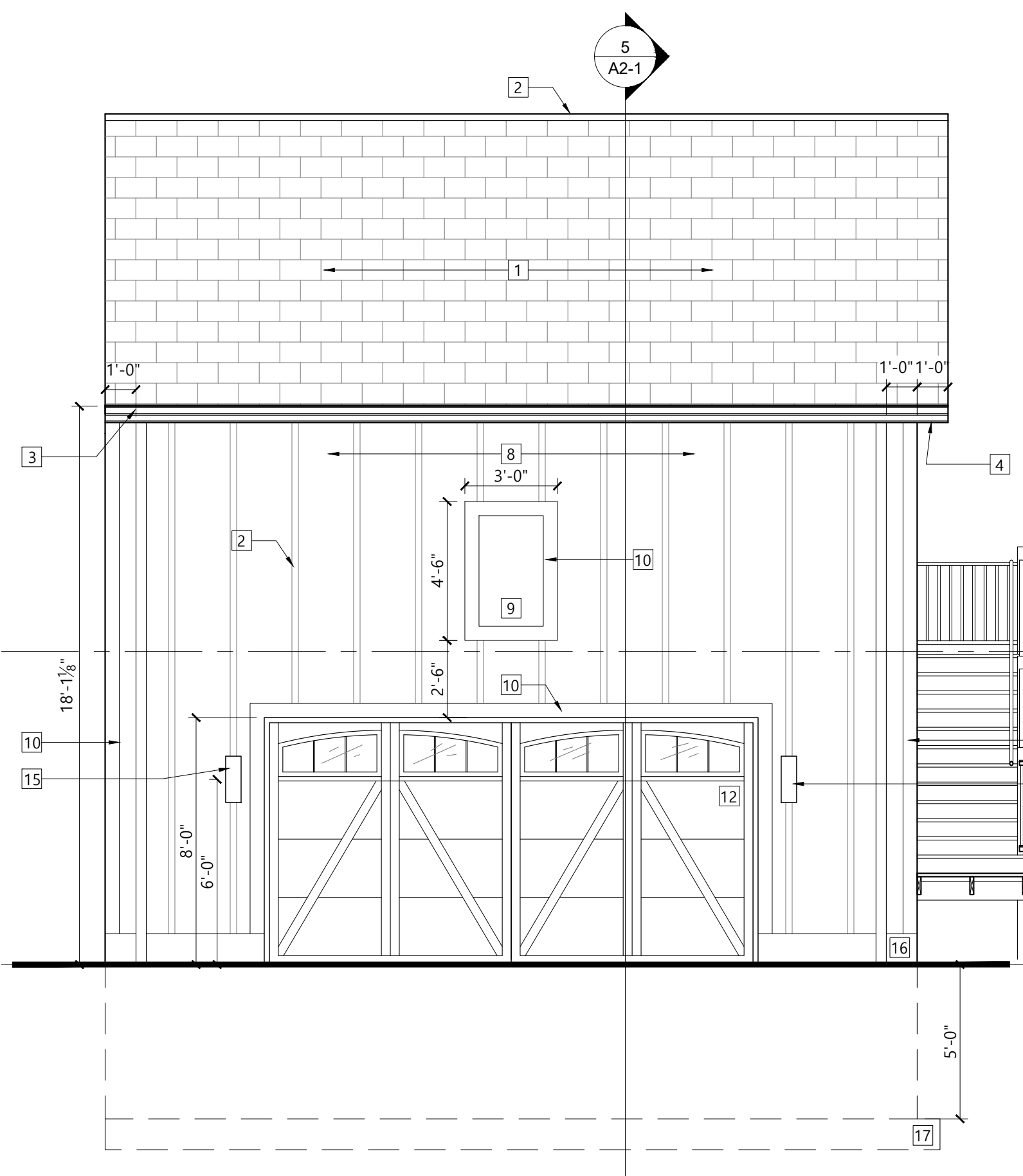
A2-1



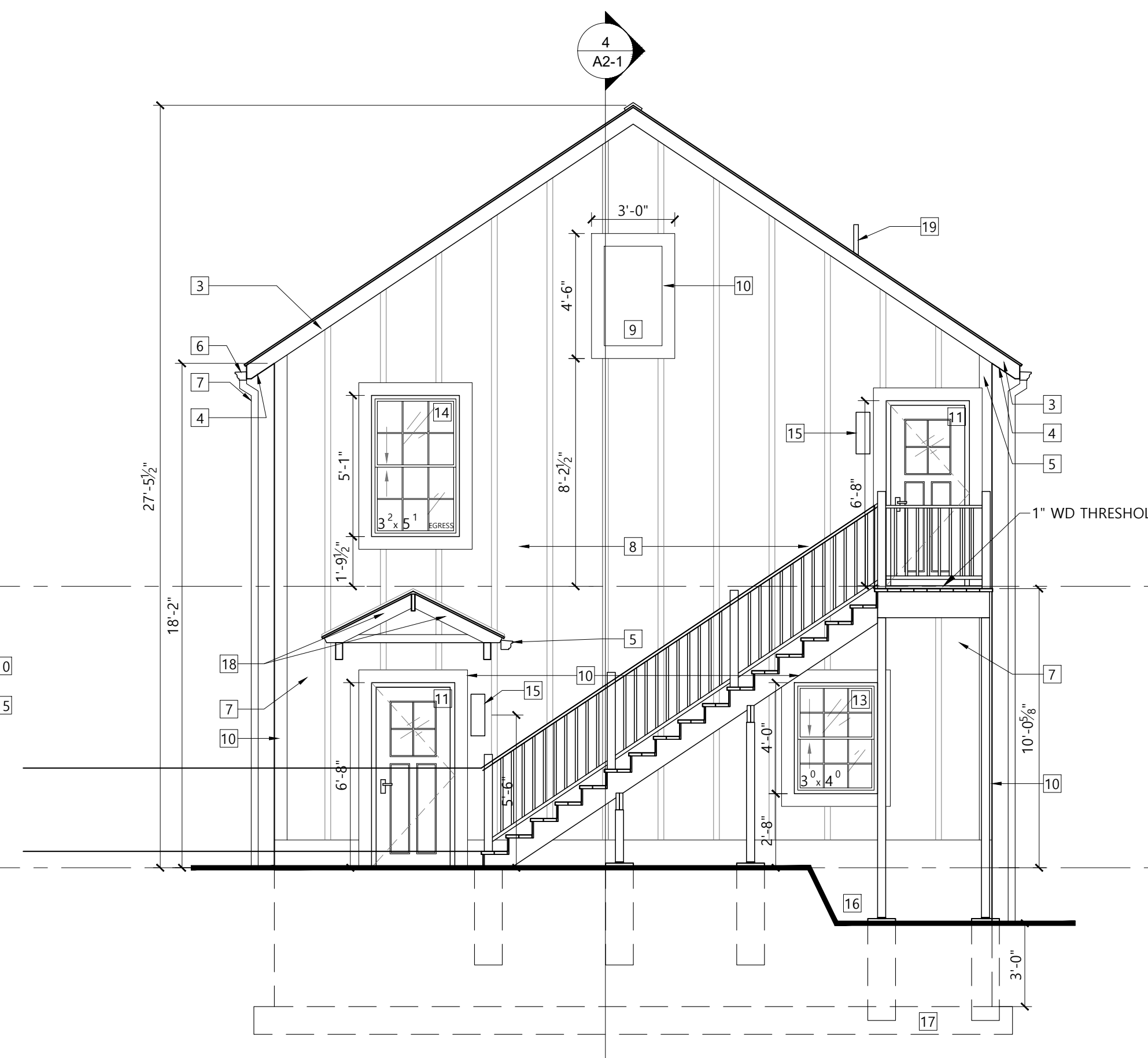
4 SECTION 1  
A2-1 SCALE: 1/4" = 1'-0"



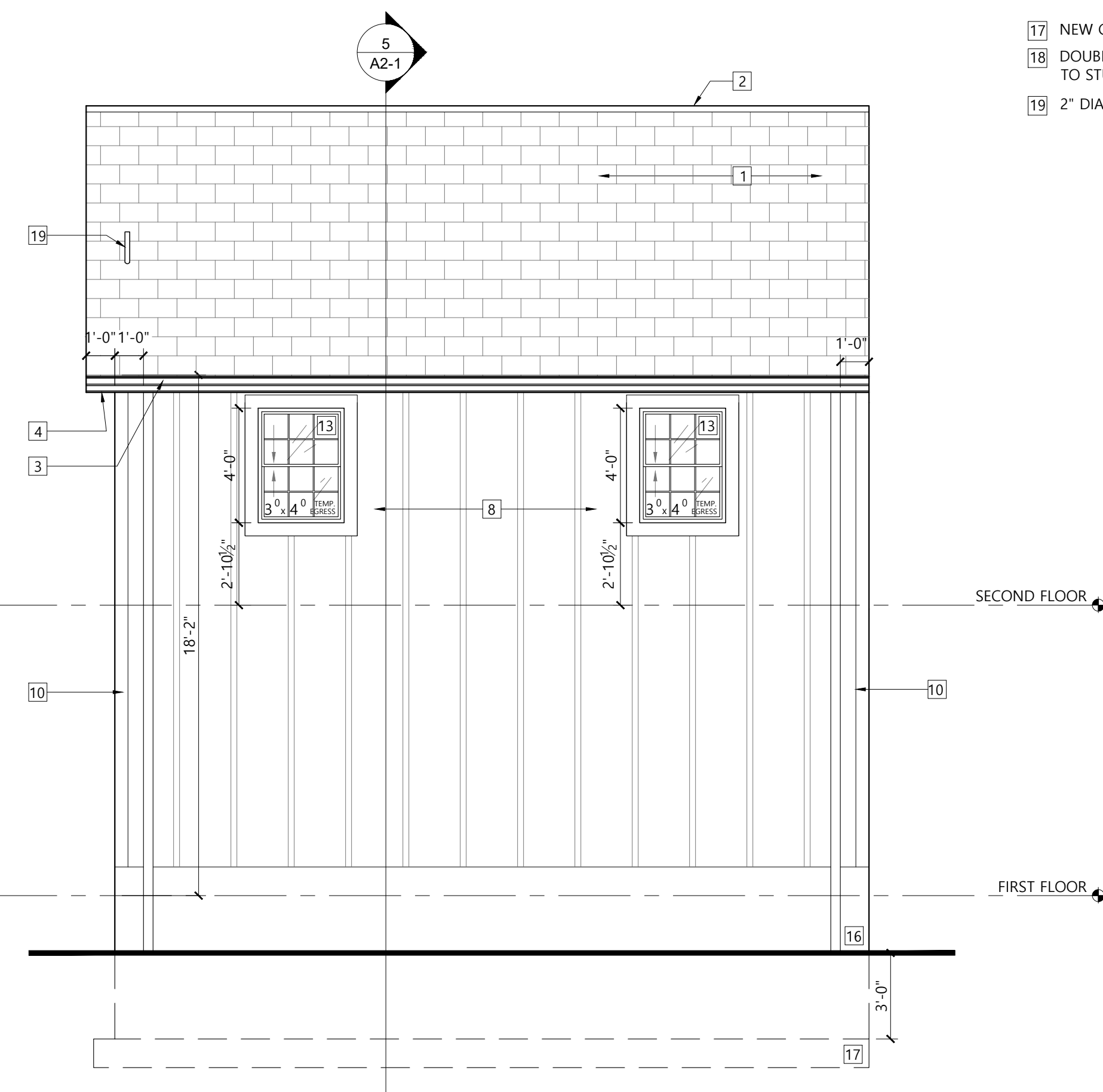
5 SECTION 2  
A2-1 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION  
A2-1 SCALE: 1/4" = 1'-0"

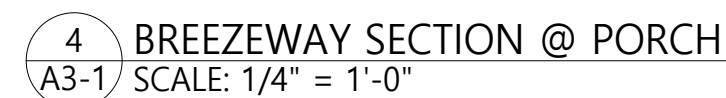
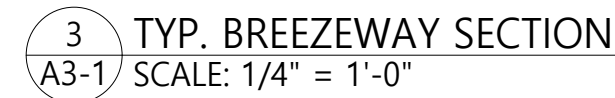
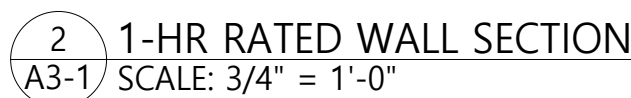
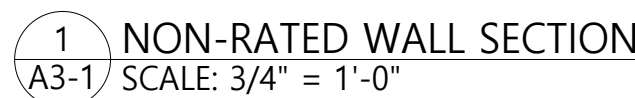


2 RIGHT ELEVATION  
A2-1 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION  
A2-1 SCALE: 1/4" = 1'-0"





PROJECT INFORMATION

PROPERTY OWNER: JOSEPH T DEASY & ALICIA REBSTOCK

15TH WARD, CITY OF PITTSBURGH

ALLEGHENY COUNTY, PA

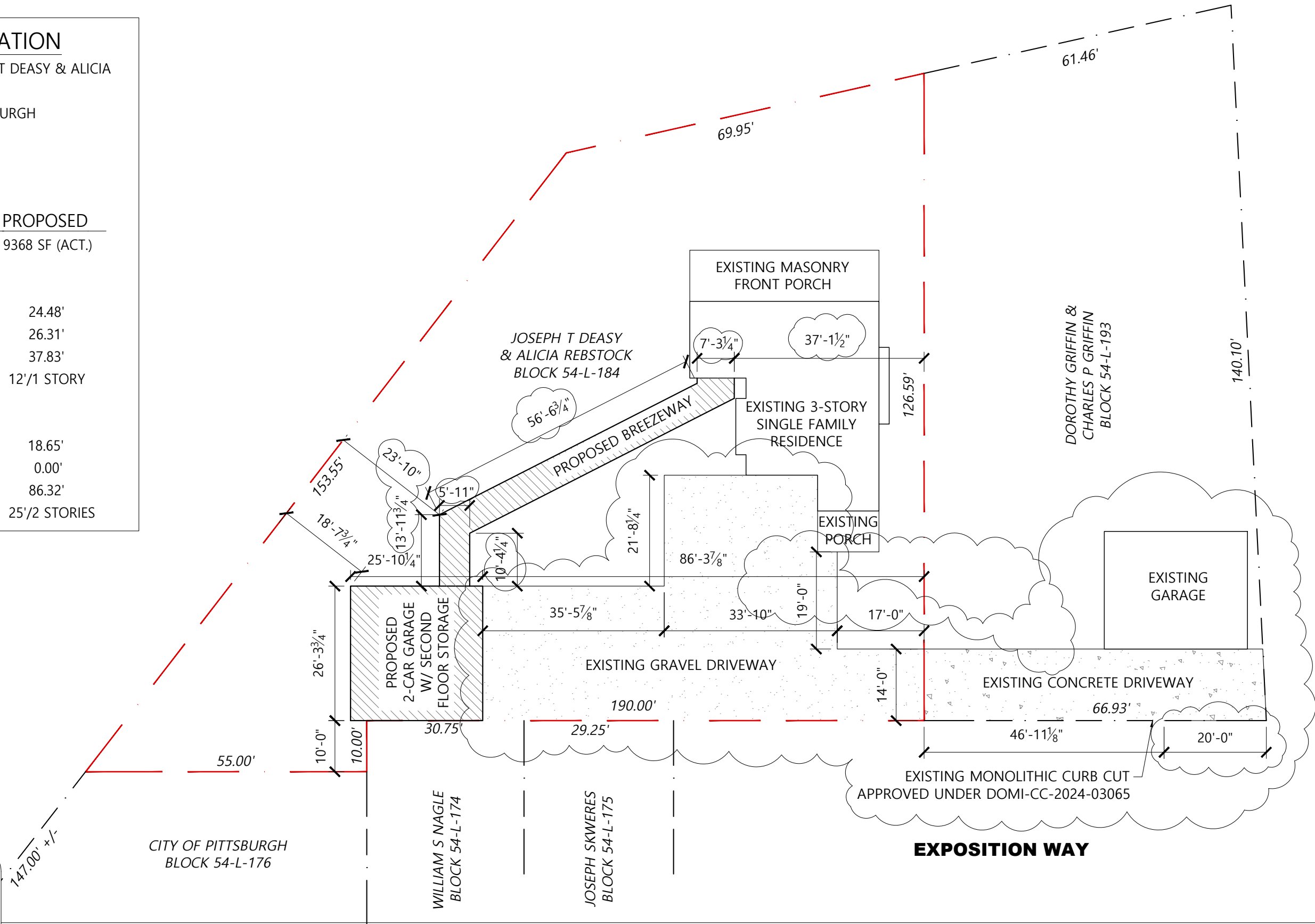
LOT# 54-L-184

ZONING DISTRICT: RM-M

REQUIRED	PROPOSED
MIN. LOT SIZE: 3200 SF	9368 SF (ACT.)
SETBACKS: BREEZEWAY	
FRONT = 25'	24.48'
REAR = 25'	26.31'
INT SIDEYD = 10'	37.83'
MAX HT: 55'4 STORIES	12'1 STORY
SETBACKS: GARAGE	
FRONT = 25'	18.65'
REAR = 25'	0.00'
INT SIDEYD = 10'	86.32'
MAX HT: 55'4 STORIES	25'2 STORIES



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# RESIDENTIAL ADDITION

4103 BEECHWOOD BLVD, PITTSBURGH, PA 15207

REVISED: JUNE 2, 2025  
REVISED: FEBRUARY 24, 2025  
REVISED: JANUARY 3, 2025  
REVISED: DECEMBER 18, 2024  
OCTOBER 8, 2024

PLOT PLAN  
**PLT**