





# PROJECT TEAM

Module Design, Inc.  
Owner/Developer



Tishman Speyer  
Master Developer, Block 36

Module’s mission is to create a 21st-century residential development ecosystem that delivers better-designed, quality-built, energy-efficient, attainable housing, all through the power of offsite construction.

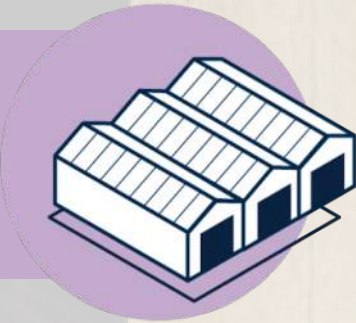
Based in Pittsburgh, PA, Module is a vertically integrated modular housing company with a manufacturing facility, a design & engineering arm, and a construction arm. Module is leading a culture shift in the industry, fueling innovation while creating a more equitable and inclusive way to build new housing.

- January 2016: Module founded
- May 2024: Last Mile Facility, Module’s 22,000 square foot factory, opens in Carnegie
- Projected April 2026: Eliza Street Housing to break ground and begin factory production





# Pittsburgh Manufacturing Facility



Carpentry Training at Trade Institute  
Partner with TIP for 6 week carpentry program, including hybrid training on Module job sites.



Partner with Non-Profits  
Our Factory provides in-kind design and engineering services via our “Mission-Driven Developer Program”



Focus on Equity  
Fostering a culture where women and people of color thrive.



## Workforce Development

Carpentry Training at Trade Institute  
Partner with TIP for 6 week carpentry program, including hybrid training on Module job sites.

On the Job Training Program at Module  
6 months of paid, on the training at our factory with an opportunity for full-time employment.



# HAZELWOOD GREEN

178-acre site along the Monongahela River, south of the Hot Metal Bridge, in Greater Hazelwood Neighborhood of Pittsburgh

- 2002: Almono LLC acquired site in 2002
- Before 2018, two developments plans and one PLDP (2013) were adopted
- 2018: New PLDP approved

### 4 Principles:

1. Advance Human Well-being
2. Inspire Innovation
3. Regenerate the Ecology
4. Create Resilient Places

Registered Community Organization: Hazelwood Initiative

Special Planning District SP-10  
Preliminary Land Development Plan (December 6, 2024)

### Sustainability:

- LEED for Neighborhood Development across District
- Project designed to LEED Gold standard (LEED for Homes v4)
- Conformance with Pittsburgh p4 Performance Measures as outlined in PLDP



FIGURE 4-1 Hazelwood Green's Development Blocks & Shared Ways

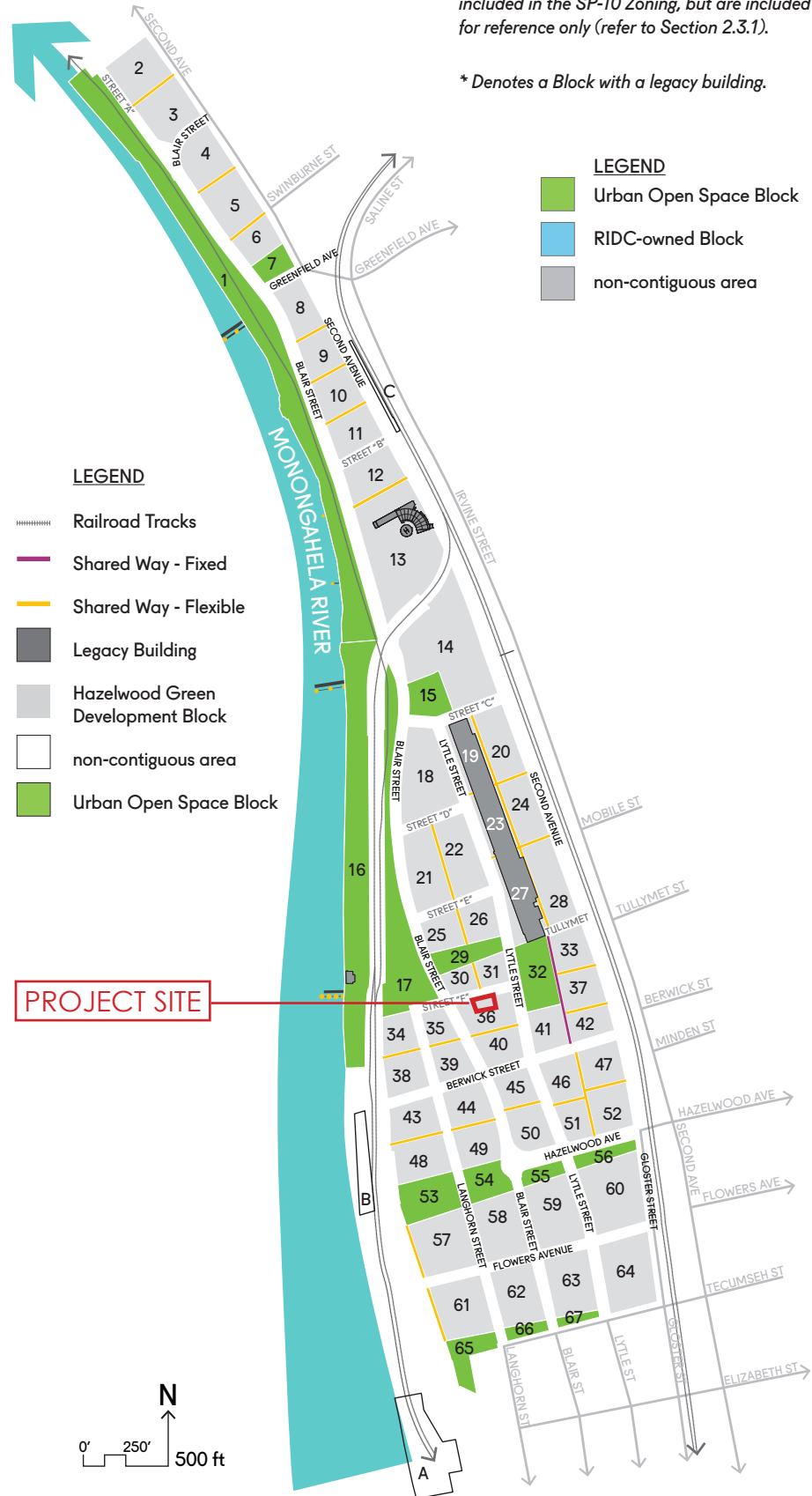


FIGURE 4-2 Development Block Areas & District

Note, the acres and square feet refer to the Block land area, not building area. Additionally, areas A, B, and C are not considered Development Blocks and are not included in the SP-10 Zoning, but are included for reference only (refer to Section 2.3.1).

\* Denotes a Block with a legacy building.

- LEGEND
- Urban Open Space Block
  - RIDC-owned Block
  - non-contiguous area

| BLOCK | ACRES | SQ FEET | DISTRICT |
|-------|-------|---------|----------|
| 1     | 9.86  | 429,600 | RIVER    |
| 2     | 2.01  | 87,605  | RIVER    |
| 3     | 2.06  | 89,568  | RIVER    |
| 4     | 1.77  | 77,193  | RIVER    |
| 5     | 2.05  | 89,498  | RIVER    |
| 6     | 1.17  | 51,070  | RIVER    |
| 7     | 0.72  | 31,431  | RIVER    |
| 8     | 1.42  | 61,782  | RIVER    |
| 9     | 1.29  | 56,355  | RIVER    |
| 10    | 1.50  | 65,497  | RIVER    |
| 11    | 1.52  | 66,141  | RIVER    |
| 12    | 1.76  | 76,798  | RIVER    |
| 13*   | 6.25  | 272,308 | RIVER    |
| 14    | 5.88  | 256,135 | MILL     |
| 15    | 1.21  | 52,635  | MILL     |
| 16*   | 4.45  | 193,662 | MILL     |
| 17    | 5.04  | 219,536 | MILL     |
| 18    | 3.22  | 140,444 | MILL     |
| 19*   | 1.92  | 83,494  | MILL     |
| 20    | 2.08  | 90,758  | MILL     |
| 21    | 2.38  | 103,523 | MILL     |
| 22    | 2.31  | 100,583 | MILL     |
| 23*   | 1.49  | 65,075  | MILL     |
| 24    | 1.61  | 69,935  | MILL     |
| 25    | 1.11  | 48,456  | MILL     |
| 26    | 1.17  | 51,169  | MILL     |
| 27*   | 2.44  | 106,231 | MILL     |
| 28    | 2.22  | 96,582  | MILL     |
| 29    | 1.13  | 49,403  | MILL     |
| 30    | 0.68  | 29,476  | MILL     |
| 31    | 0.75  | 32,560  | MILL     |
| 32    | 1.95  | 85,063  | MILL     |
| 33    | 1.31  | 57,197  | MILL     |
| 34    | 1.08  | 46,996  | FLATS    |
| 35    | 0.78  | 34,165  | FLATS    |
| 36    | 1.51  | 65,724  | MILL     |
| 37    | 1.41  | 61,293  | MILL     |
| 38    | 1.36  | 59,311  | FLATS    |
| 39    | 1.09  | 47,457  | FLATS    |
| 40    | 1.23  | 53,770  | MILL     |
| 41    | 1.25  | 54,341  | MILL     |
| 42    | 1.09  | 47,614  | MILL     |
| 43    | 1.48  | 64,302  | FLATS    |
| 44    | 1.43  | 62,180  | FLATS    |
| 45    | 1.07  | 46,772  | MILL     |
| 46    | 1.40  | 60,842  | MILL     |
| 47    | 1.39  | 60,361  | MILL     |
| 48    | 1.81  | 78,847  | FLATS    |
| 49    | 1.46  | 63,797  | FLATS    |
| 50    | 1.45  | 63,135  | MILL     |
| 51    | 1.03  | 44,948  | MILL     |
| 52    | 1.52  | 66,426  | MILL     |
| 53    | 1.89  | 82,381  | FLATS    |
| 54    | 1.19  | 51,953  | FLATS    |
| 55    | 0.54  | 23,696  | FLATS    |
| 56    | 0.67  | 28,997  | FLATS    |
| 57    | 2.94  | 127,892 | FLATS    |
| 58    | 2.40  | 104,420 | FLATS    |
| 59    | 2.65  | 115,288 | FLATS    |
| 60    | 3.26  | 141,965 | FLATS    |
| 61    | 2.22  | 96,648  | FLATS    |
| 62    | 1.98  | 86,088  | FLATS    |
| 63    | 2.24  | 97,789  | FLATS    |
| 64    | 2.89  | 125,715 | FLATS    |
| 65    | 1.21  | 52,662  | FLATS    |
| 66    | 0.43  | 18,816  | FLATS    |
| 67    | 0.31  | 13,319  | FLATS    |
| A     | 2.94  | 128,152 | NA       |
| B     | 1.05  | 45,920  | NA       |
| C     | 0.27  | 11,632  | NA       |



# NEIGHBORHOOD CONTEXT



**BIOFORGE**  
University of Pittsburgh  
projected complete Fall 2025



**PROJECT SITE**  
Block 36



**ELIZA COMMONS**  
Trek Development  
groundbreaking 2026



**HAZELWOOD GREEN**  
District  
Aerial from South



**MILL 19**  
RIDC - technology and research tenants  
completed 2019-2022



**ROBOTICS INNOVATION CENTER**  
Carnegie Mellon University  
projected complete Fall 2025



**COMMUNITY FIELD**  
Pittsburgh Steelers  
pre-construction planning



# SITE ANALYSIS



MONONGAHELA RIVER

MILL 19

TULLYMET STREET

COMPOSITE STREET

HAZELWOOD TRAIL

IRVINE STREET

HAZELWOOD AVENUE

HAZELWOOD GREEN PARK

LYTLE STREET

ELIZA STREET

BLAIR STREET

SITE  
LOTS TO BE SUBDIVIDED /  
CONSOLIDATED

BLOCK 36

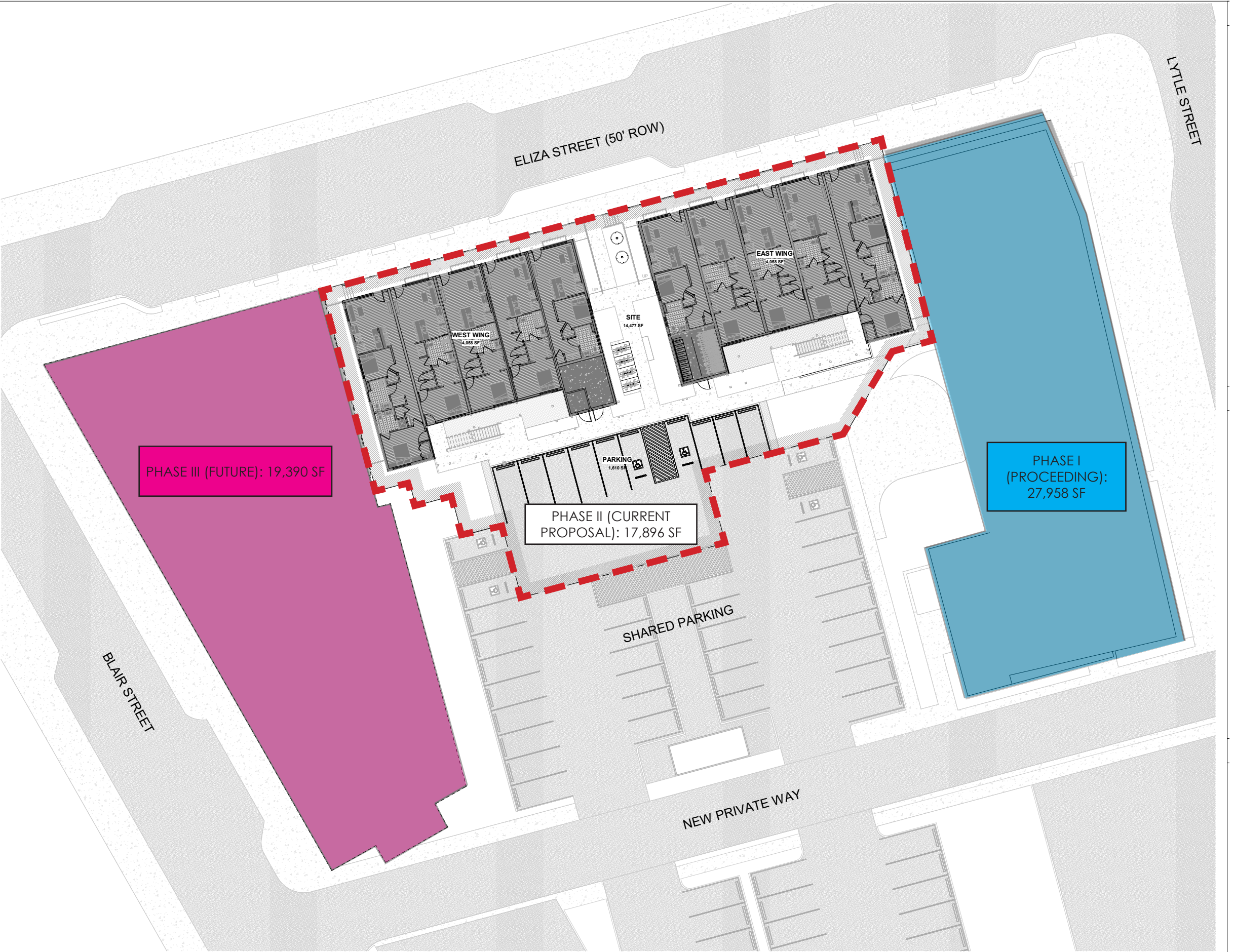
PLANNED  
PRIVATE WAY





SITE PLAN - BLOCK 36

 LOT LINE OF  
PROPOSED PROJECT





# LEVELS OF HOUSING AFFORDABILITY

## The Project:

- Addresses need for “missing middle” housing, adding local housing stock affordable to renters at the average median income for Pittsburgh
- Supplements the block’s other planned projects, which are focused on tax-credit funded lower-AMI units, for a proportional total spread across affordability levels
- Reduces construction and operating costs through efficient design and off-site fabrication

## BLOCK 36

- “Eliza Commons” Phase I (East/Lytle Street side of block): **Low-Income Housing Tax Credit Funding**
- **PROPOSED Phase II (North/Eliza Street side of block): Market Rate / Unsubsidized**
  - subject to pending Inclusionary Zoning Legislation
  - Targeting rents from 80 - 120% AMI

Entire Block

Current Proposal

| PHASE             | 0-30% AMI | 30 – 60 % AMI | 60 – 120% AMI | TOTAL |
|-------------------|-----------|---------------|---------------|-------|
| I: Lytle Street   | 25        | 15            | 10            | 50    |
| II: Eliza Street  | 0         | 0             | 30            | 30    |
| III: Blair Street | 24        | 20            | 2             | 46    |
| TOTAL             | 49        | 35            | 42            | 126   |
|                   | 39%       | 28%           | 33%           |       |



# MEETING HISTORY

## Zoning and Community Meeting History

### Application # BDA-2025-01706

#### Zoning Approvals

- March 28, 2025: Zoning Pre-application Meeting
- April 8, 2025: Community Meeting #1, Hazelwood Initiative
- May 13, 2025: Development Activities Meeting
- May 23, 2025: Building Development Application Submittal: BDA-2025-01706, Review Begins
- June 24, 2025: Contextual Design Advisory Panel

Variance: Section 909.01.Q.5.F.i: 14' minimum ground floor height; 13'-6" ground floor height proposed

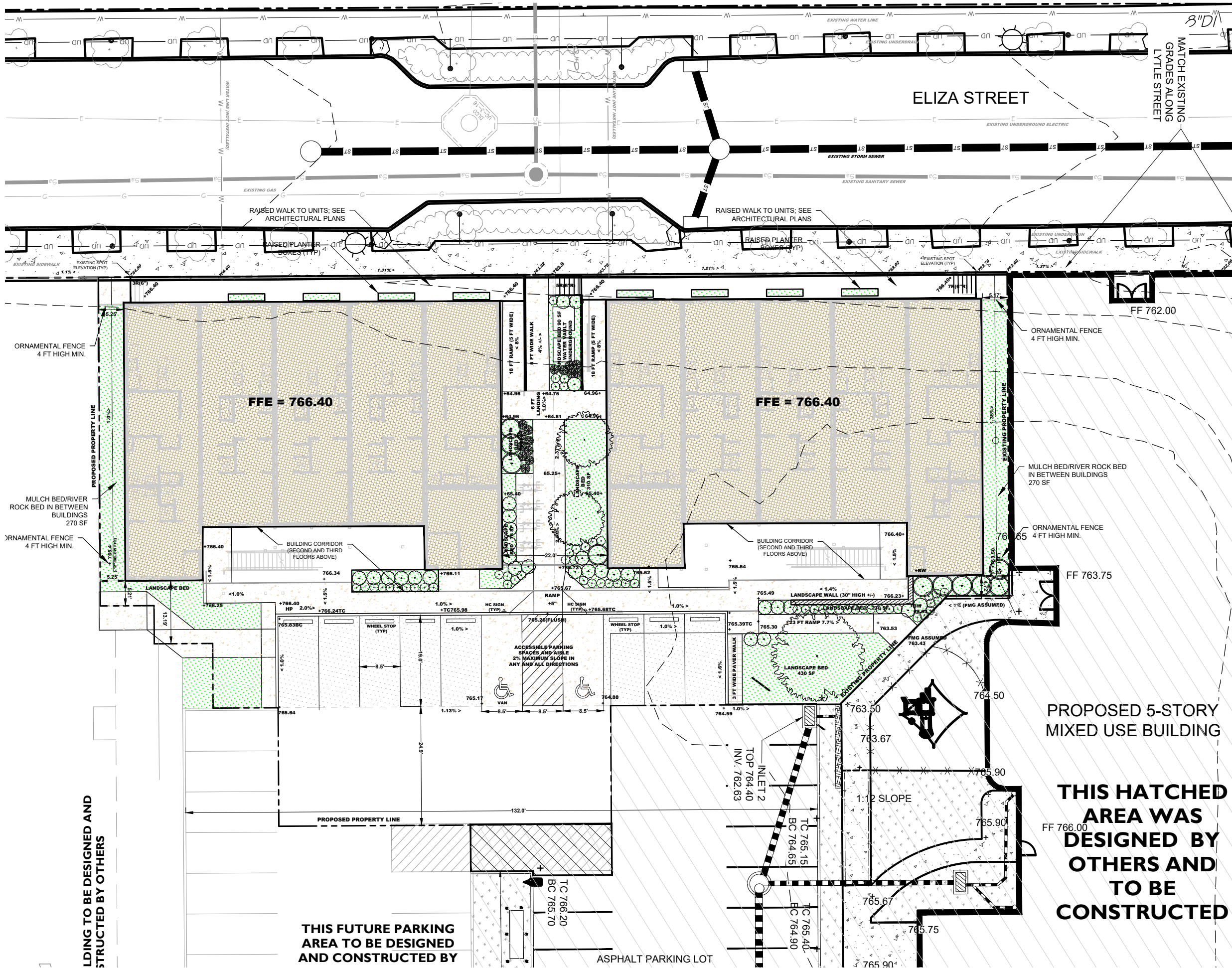
- July 10, 2025: Hearing, Zoning Board of Appeals
- July 17, 2025: ZBA Decision Variance GRANTED

# CONTEXTUAL DESIGN ADVISORY PANEL

## The project team addressed the concerns raised at CDAP as follows:

- The panel commented that variation of horizontal and vertical siding created a rythm and scale that did not fit the heirarchy of the design scheme. The siding directionality now varies with entire unit stacks, and spans of wall 16'-20' in width.
- The project team studied numerous cornice/cap designs for the top of the building. Overhanging cornices broke with the modern response to industrial architecture in this part of the design. Instead, the negative-line recess of the trim between bays was reinforced, and carried to the top of the parapet as a recessed cornice line.
- The courtyard design includes an offset walking path, and benches for seating, in scale with the size and occupancy of this exterior space.
- Shade-tolerants and drought-resistant grasses have been selected for the courtyard, and other landscape areas that will be shaded for significant portions of the day.
- The street-facing canopy design has been developed, for a more subtle and layers interface with the front of the building.
- The west facade will be addressed similarly to the courtyard-facing exterior walls.





SITE DATA (PRELIMINARY):

ZONING: SP-10  
BLOCK: 36  
DISTRICT: MILL DISTRICT

SITE AREA: 16,100 SQ FT OR 0.37 AC

DWELLING UNITS: 30 UNITS

PARKING: MINIMUM: NONE  
MAXIMUM: 1 SP PER STUDIO, 1.5 SP PER 1 BDRM AND 2 SP PER 2 BDRM - 50 MAXIMUM

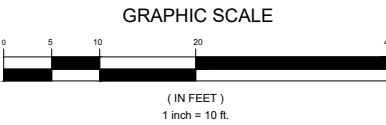
PARKING PROVIDED: 9 TOTAL SPACES (2 ADA/UFAS SPACES)

BICYCLE PARKING PROVIDED: 36 SPACES (30 SPACES INTERNAL)

SITE LEGEND:

- +766.05 PROPOSED SPOT ELEVATION
- +766.24TC PROPOSED TOP OF CURB
- +765.74BC PROPOSED BOTTOM OF CURB
- +766.40HP PROPOSED HIGH POINT
- 2.0% PROPOSED SLOPE
- YD DN/CO T=765.75 +/- P=764.04 ST STORM PIPE WITH YARD DRAIN OR CLEAN OUT
- RD CO ST ROOF DRAIN WITH CLEAN OUT
- SAV SANITARY SEWER PIPE
- PROPOSED CONCRETE PAVEMENT SIDEWALKS, RAMPS AND ADA PARKING SPACES TOTAL PAVEMENT AREAS = 2,220 SQ FT
- PROPOSED ASPHALT PARKING AREA TOTAL ASPHALT AREAS = 1,130 SQ FT
- PROPOSED LANDSCAPE/PLANTING BED SEEDING OR SHRUBS AND TREES TOTAL LANDSCAPE AREAS = 2,700 SQ FT
- PROPOSED BUILDING FOOTPRINT INCLUDING FRONT WALKS, DECKS AND REAR CONNECTING WALKWAYS TOTAL BUILDING AREAS = 10,050 SQ FT

- PROPOSED NATIVE URBAN TREES - MEDIUM SIZED (20 FT DIAMETER MATURE)
- PROPOSED NATIVE URBAN TREES - SMALL SIZED (12 FT DIAMETER MATURE)
- PROPOSED NATIVE SHRUB - 4 FT DIAMETER MATURE
- PROPOSED NATIVE SHRUB - 3 FT DIAMETER MATURE
- PROPOSED NATIVE SHRUB - 2 FT DIAMETER MATURE
- PROPOSED PERENNIALS



PROPOSED 5-STORY MIXED USE BUILDING

THIS HATCHED AREA WAS DESIGNED BY OTHERS AND TO BE CONSTRUCTED

THE BASE INFORMATION SHOWN ON THIS PLAN WAS PREPARED BY COSMOS TECHNOLOGIES AND KU RESOURCES



FLOWERING SHRUBS



VIBURNUM TRILOBUM  
“HIGHBUSH CRANBERRY”



ILEX VERTICILLATA  
“WINTERBERRY HOLLY”



VIBURNUM TRILOBUM “GRO-  
LOW SUMAC”



CLETHRA ALNIFOLIA  
“SUMMERSWEET”



“OAKLEAF” HYDRANGEA  
QUERCIFOLIA

PLANTING

ORNAMENTAL GRASS



PANICUM VIRGATUM  
“SHENANDOAH SWITCH  
GRASS”



SCHIZARIUM SCOPARIUM  
“CINNAMON STICKS”

PERENNIALS



COREOPSIS V “MOONBEAM”



RUDBECKIA FULGIDA  
SULLIVANTI “GOLDSTRUM”

SHRUBS



ILEX GLABRA “SHAMROCK”



“BURKII “ JUNIPERUS  
VIRGINIANA

TREES



CRATAEGUS CRUS-GALLI INERMIS ‘CRUSADER’



CERCIS CANADENSIS “FOREST PANSY”/“EASTERN  
REDBUD”

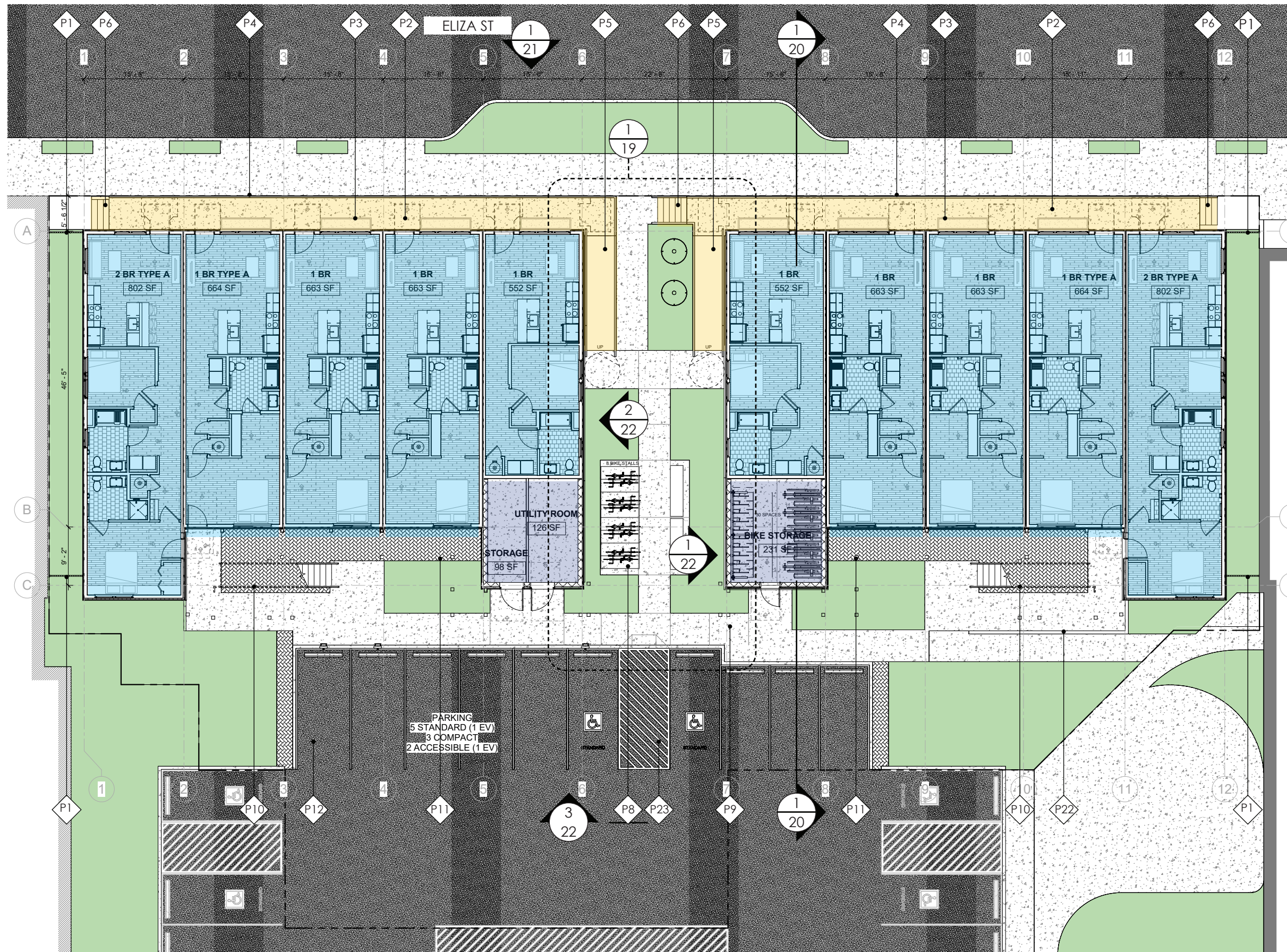
PERMEABLE PAVERS



GROUND COVER



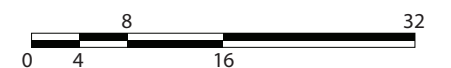




# KEYNOTES

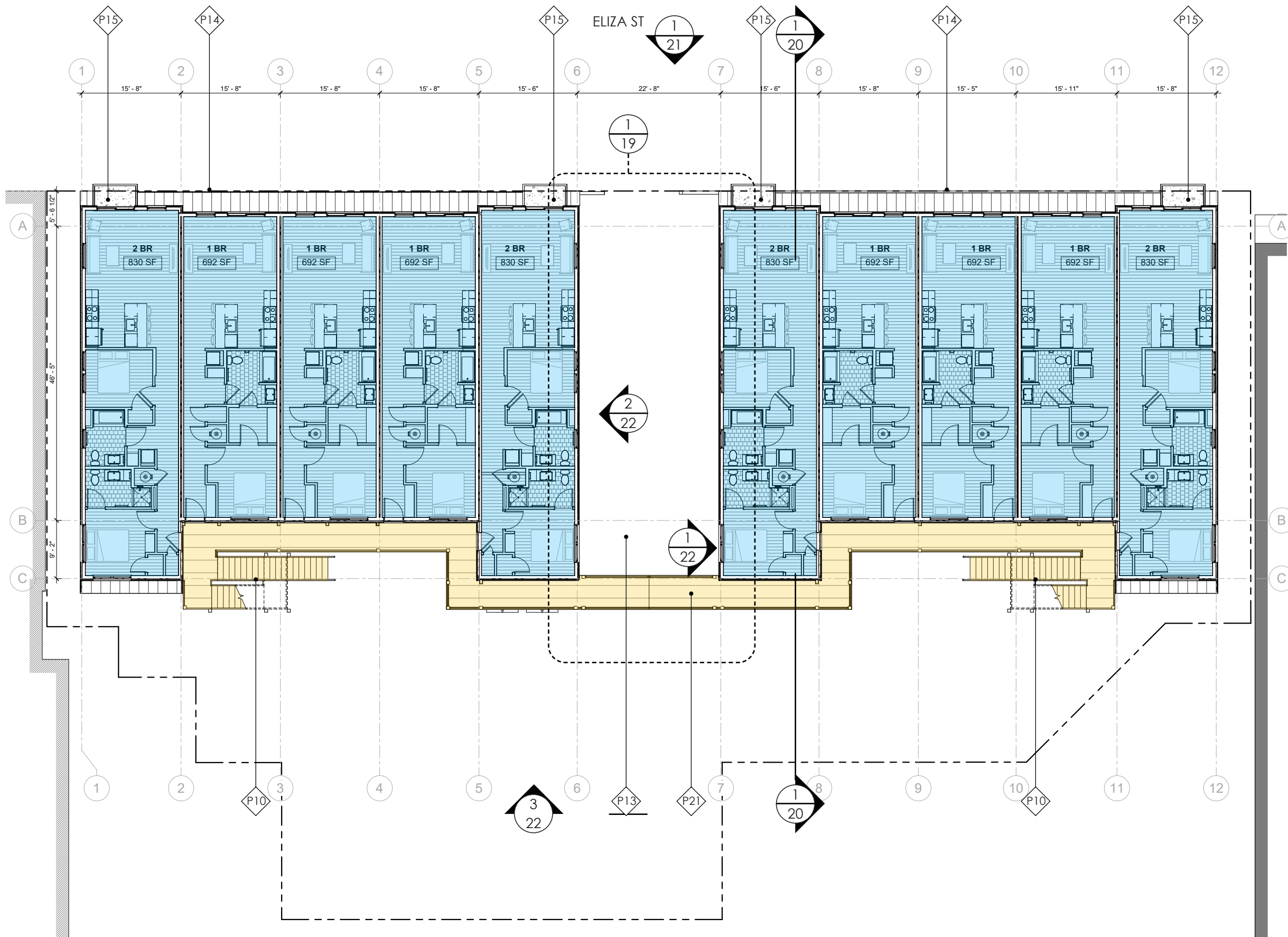
- P1 FENCE ENCLOSURE
- P2 RAISED CONCRETE PLINTH WALKWAY
- P3 PLANTER
- P4 POWDER COATED GUARDRAIL
- P5 CAST-IN-PLACE ACCESSIBLE RAMP
- P6 CAST-IN-PLACE STAIR
- P7 VEGETATION – REFERENCE CIVIL PLANTING PLAN
- P8 (4) U-RACKS, BOLT TO CONCRETE
- P9 CONCRETE WALKWAY
- P10 STEEL-FRAMED ACCESS/EXIT STAIR
- P11 PERMEABLE PAVING BELOW COVER
- P12 TRASH STORAGE AREA
- P13 PREFABRICATED CANOPY
- P14 PROJECTING AWNING
- P15 BALCONY
- P16 ROOFTOP MECHANICAL UNITS
- P17 FASCIA GUTTER
- P18 RAISED PARAPET WITH METAL COPING
- P19 BENCH
- P20 LIGHT POLE – DARK SKY
- P21 ELEVATED WALKWAY
- P22 RETAINING WALL
- P23 ACCESSIBLE AISLE

SITE/FIRST FLOOR PLAN



SCALE: 1/16" = 1'-0"



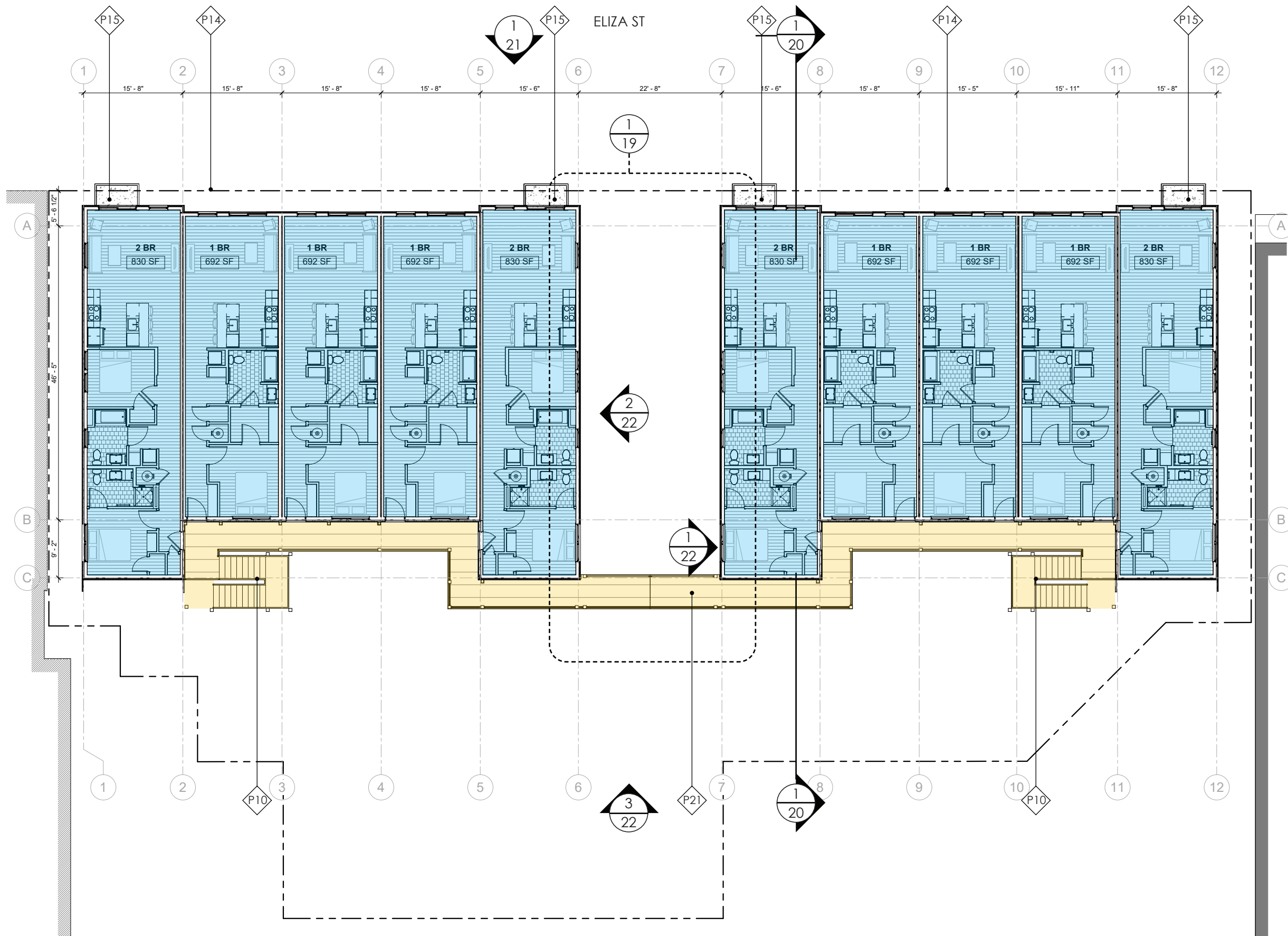


- KEYNOTES**
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SECOND FLOOR PLAN







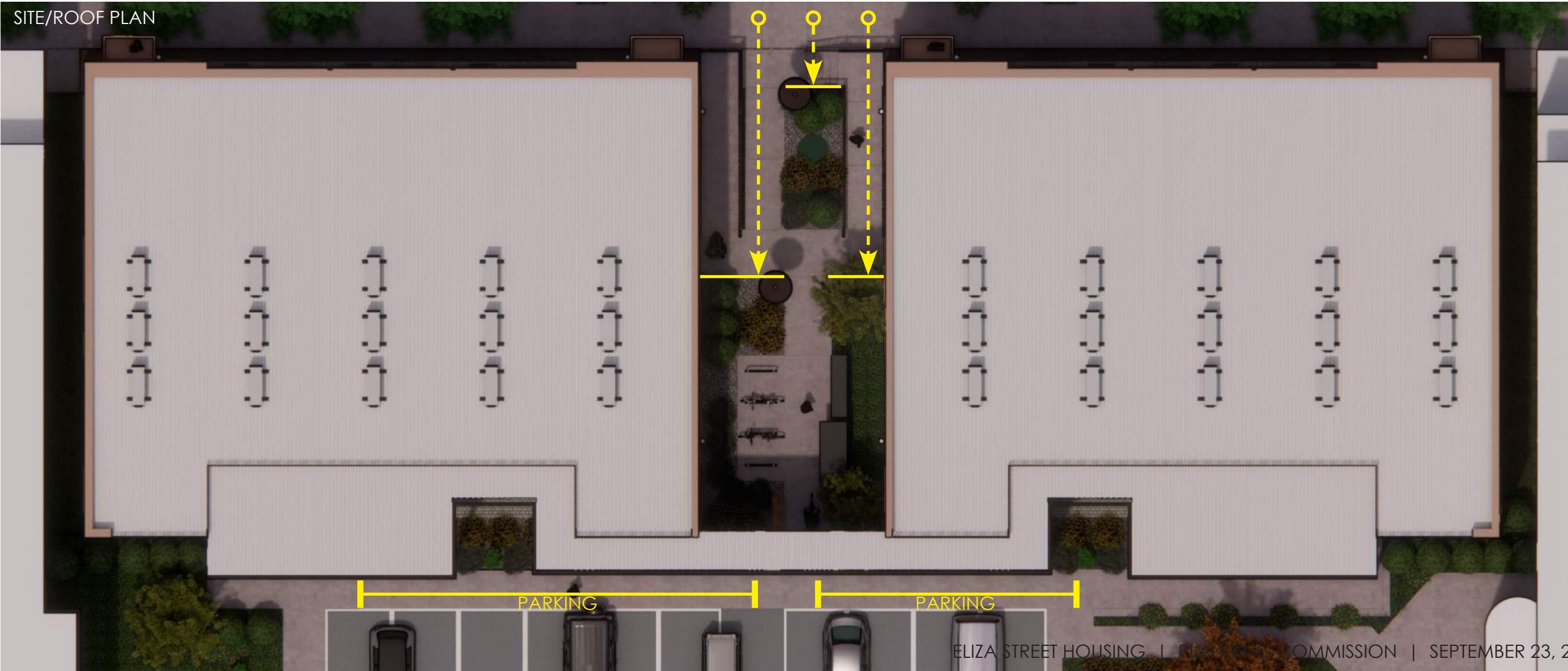
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  - P21 ELEVATED WALKWAY
  - P22 RETAINING WALL
  - P23 ACCESSIBLE AISLE

THIRD FLOOR PLAN





# ELIZA STREET PERSPECTIVE ELEVATION - SCREENING STUDY





AERIAL ISOMETRIC - NORTHWEST



NOTE: STREET TREES NOT SHOWN FOR CLARITY



THIRD FLOOR: MIN. 30%  
TOTAL WALL = 9 x 78'-10" x 2 = 1,419 SF  
TOTAL GLAZING = 10(22.5+45) = 675 SF  
47.57%: OK

SECOND FLOOR: MIN. 30%  
TOTAL WALL = 9 x 78'-10" x 2 = 1,419 SF  
TOTAL GLAZING = 10(22.5+45) = 675 SF  
47.57%: OK

GROUND FLOOR: MIN. 60%  
TOTAL WALL = 9 x 78'-10" x 2 = 1,419 SF  
TOTAL GLAZING = 10(27+60) = 870 SF  
61.31%: OK

39'-6"  
CEILING  
9'-0"  
24'-6"  
CEILING  
9'-0"  
13'-6"  
CEILING  
9'-0"  
2'-6"  
0'-0"

PLANE BREAK AND TRIM  
RECESSED TRIM  
RECESSED TRIM  
PLANE BREAK AND TRIM

FENESTRATION BAY A  
FENESTRATION BAY B  
FENESTRATION BAY B  
FENESTRATION BAY B  
FENESTRATION BAY B

PLANE BREAK AND TRIM  
RECESSED TRIM  
RECESSED TRIM  
PLANE BREAK AND TRIM

FENESTRATION BAY A  
FENESTRATION BAY A  
FENESTRATION BAY A  
FENESTRATION BAY A  
FENESTRATION BAY B

39'-6"  
CEILING  
9'-0"  
24'-6"  
CEILING  
9'-0"  
13'-6"  
CEILING  
9'-0"  
2'-6"  
0'-0"

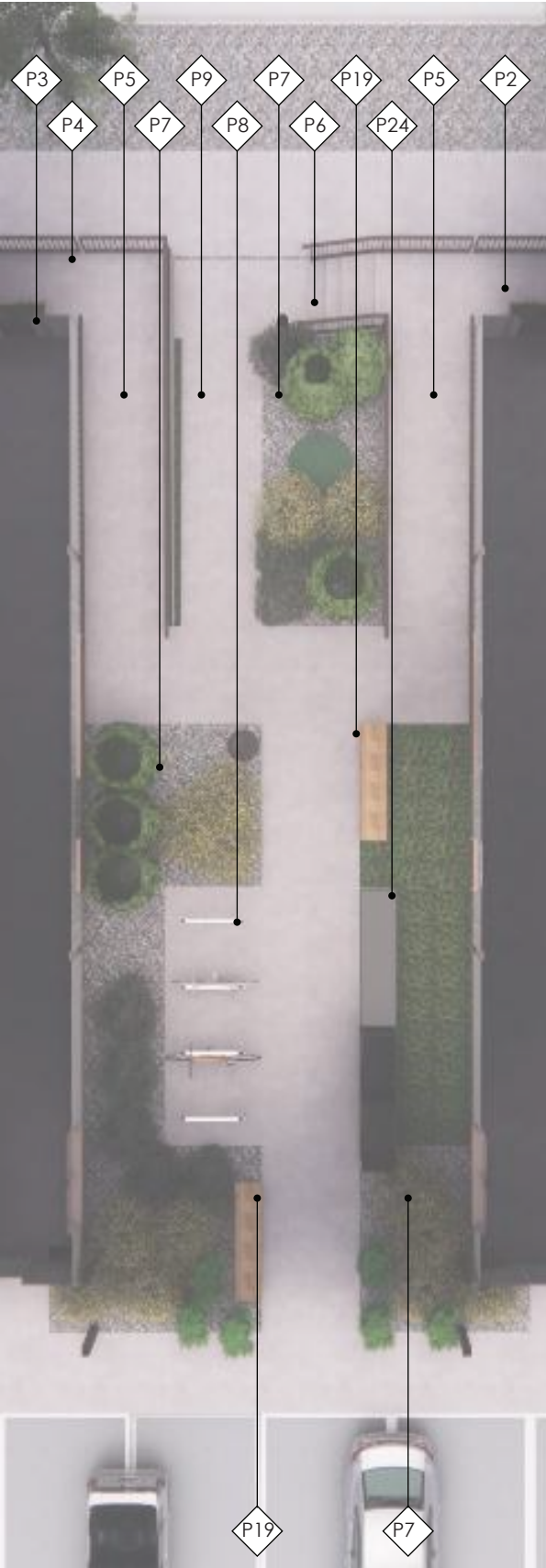


ELIZA STREET PERSPECTIVE





COURTYARD



1 SITE PLAN PERSPECTIVE  
FLOOR PLAN CUT



2 SITE PLAN PERSPECTIVE  
ROOF PLAN

- KEYNOTES**
- P1 FENCE ENCLOSURE
  - P2 RAISED CONCRETE PLINTH WALKWAY
  - P3 PLANTER
  - P4 POWDER COATED GUARDRAIL
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  - P20 LIGHT POLE – DARK SKY
  - P21 ELEVATED WALKWAY
  - P22 RETAINING WALL
  - P23 ACCESSIBLE AISLE
  - P24 PEDESTAL MAILBOXES



AERIAL VIEW INTO COURTYARD FROM NORTH



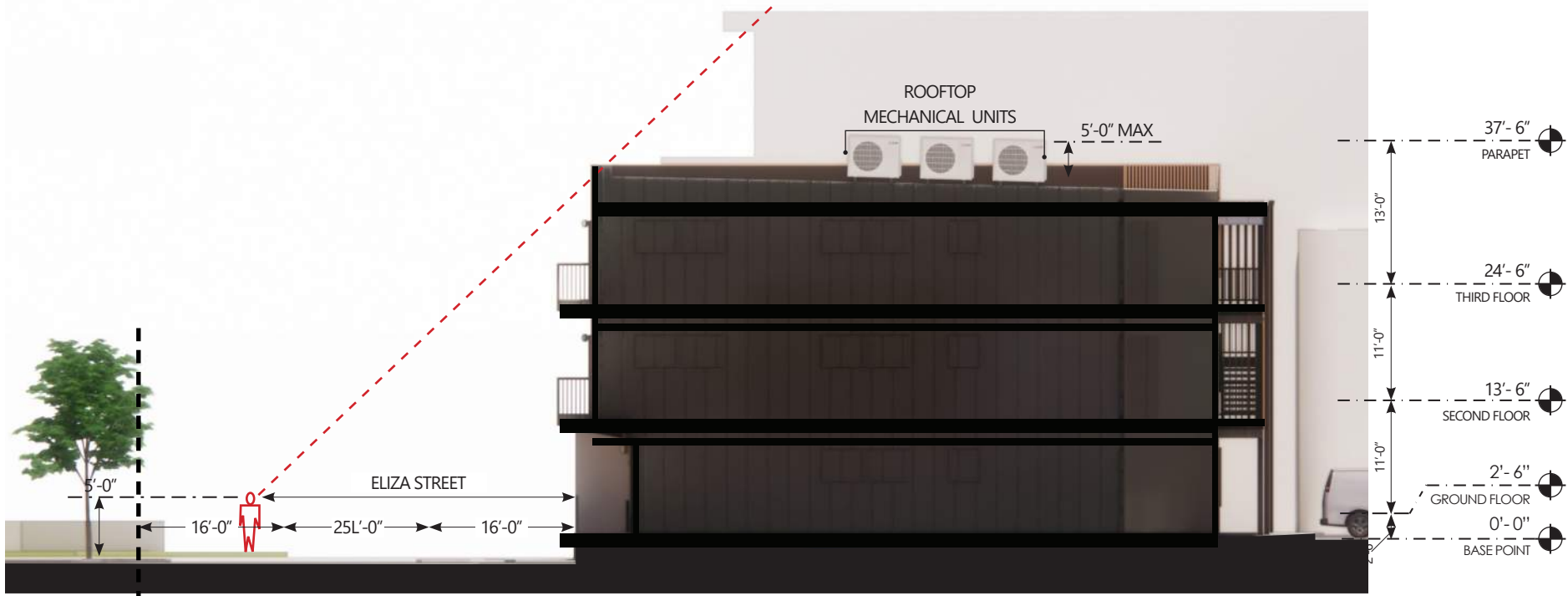
LIGHT POLE - 14' DARK SKY



BIKE RACK - BELSON CBBR-2CR-SS



ADDITIONAL VIEWS



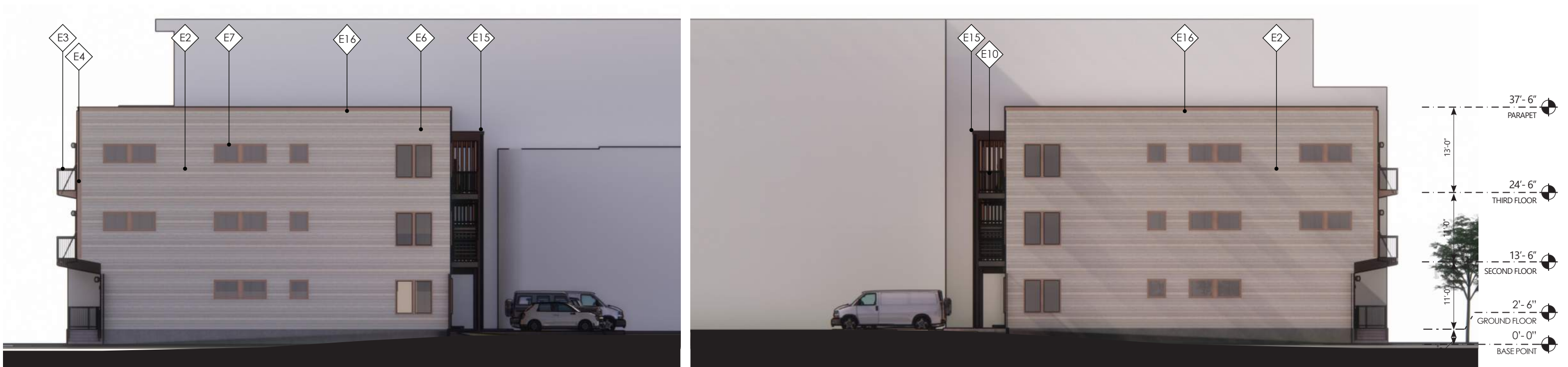
1 BUILDING SECTION - MEP SCREENING







1 NORTH ELEVATION (FRONT)



2 WEST ELEVATION

3 EAST ELEVATION

#### KEYNOTES

E1 PERMEABLE PAVING BELOW COVER  
 E2 PLANK RAINSCREEN CLADDING  
 E3 PREFABRICATED ALUMINUM BALCONY - SITE INSTALLED  
 E4 WOOD-LOOK OR COLOR MATCH BALCONY PICKETS AND CLADDING  
 E5 GLIDING PATIO DOOR, FIBERGLASS, TAN  
 E6 SLIDER WINDOW, FIBERGLASS, TAN

E7 CASEMENT WINDOW, FIBERGLASS, TAN  
 E8 FIBERGLASS WINDOW MULL, BRONZE  
 E9 POWDER COATED STEEL HANDRAIL - BRONZE  
 E10 POWDER COATED STEEL GUARDRAIL - BRONZE  
 E11 WOOD-LOOK GLAZED FIBERGLASS DOOR  
 E12 WOOD-LOOK OPAQUE FIBERGLASS DOOR

E13 FLUSH EXHAUST VENT  
 E14 STANDING SEAM METAL ROOF - BRONZE  
 E15 FASCIA GUTTER AND METAL FASCIA - BRONZE COLOR  
 E16 METAL PARAPET COPING  
 E17 WOOD-LOOK SCREENING



SCALE: 1/32" = 1'-0"

## ELEVATIONS





1 COURTYARD EAST ELEVATION



2 COURTYARD WEST ELEVATION



3 NORTH ELEVATION (FRONT)

#### KEYNOTES

E1 PERMEABLE PAVING BELOW COVER  
 E2 PLANK RAINSCREEN CLADDING  
 E3 PREFABRICATED ALUMINUM BALCONY - SITE INSTALLED  
 E4 WOOD-LOOK OR COLOR MATCH BALCONY PICKETS AND CLADDING  
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 E8 FIBERGLASS WINDOW MULL, BRONZE  
 E9 POWDER COATED STEEL HANDRAIL - BRONZE  
 E10 POWDER COATED STEEL GUARDRAIL - BRONZE  
 E11 WOOD-LOOK GLAZED FIBERGLASS DOOR  
 E12 WOOD-LOOK OPAQUE FIBERGLASS DOOR

E13 FLUSH EXHAUST VENT  
 E14 STANDING SEAM METAL ROOF - BRONZE  
 E15 FASCIA GUTTER AND METAL FASCIA - BRONZE COLOR  
 E16 METAL PARAPET COPING  
 E17 WOOD-LOOK SCREENING

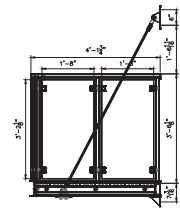
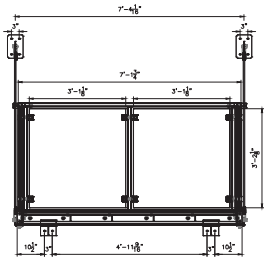
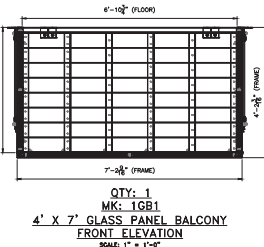


SCALE: 1/8" = 1'-0"

## ELEVATIONS



# STREET FRONT DETAILING



PREFABRICATED ALUMINUM BALCONY - SITE INSTALLED



FLUSH EXHAUST VENT



EXTERIOR WALL SCONCE LIGHT - DARK SKY



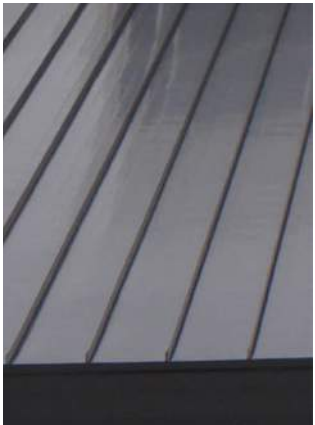
GLIDING PATIO DOOR - FIBERGLASS, TAN FRAME



WOOD COLOR MATCH BALCONY PICKETS AND CLADDING



OPERABLE CASEMENT WINDOW - FIBERGLASS, TAN FRAME



STANDING SEAM METAL AWNING - BRONZE COLOR



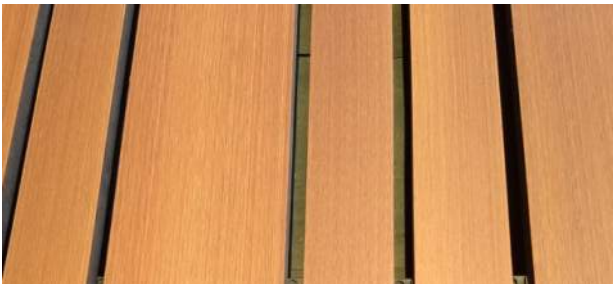
EXTERIOR WALL RECESS LIGHT - DARK SKY



WINDOW - BRONZE COLOR



WOOD-LOOK GLAZED FIBERGLASS DOOR



WOOD FIBER PLANK CLADDING

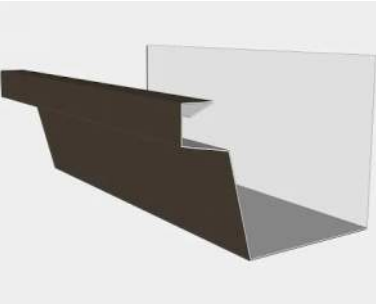


POWDER COATED STEEL HANDRAIL - BRONZE





# REAR DETAILING



FASCIA GUTTER AND METAL  
FASCIA - BRONZE COLOR



WOOD-LOOK  
OPAQUE FIBERGLASS  
DOOR



POWDER COATED STEEL HANDRAIL - BRONZE

SCREENING  
ELEMENTS



EXTERIOR WALL  
SCONCE LIGHT - DARK  
SKY



EXTERIOR  
DOWNLIGHT -  
DARK SKY



SLIDER WINDOW - FIBERGLASS, TAN  
FRAME

REPRESENTATIVE PRECEDENT

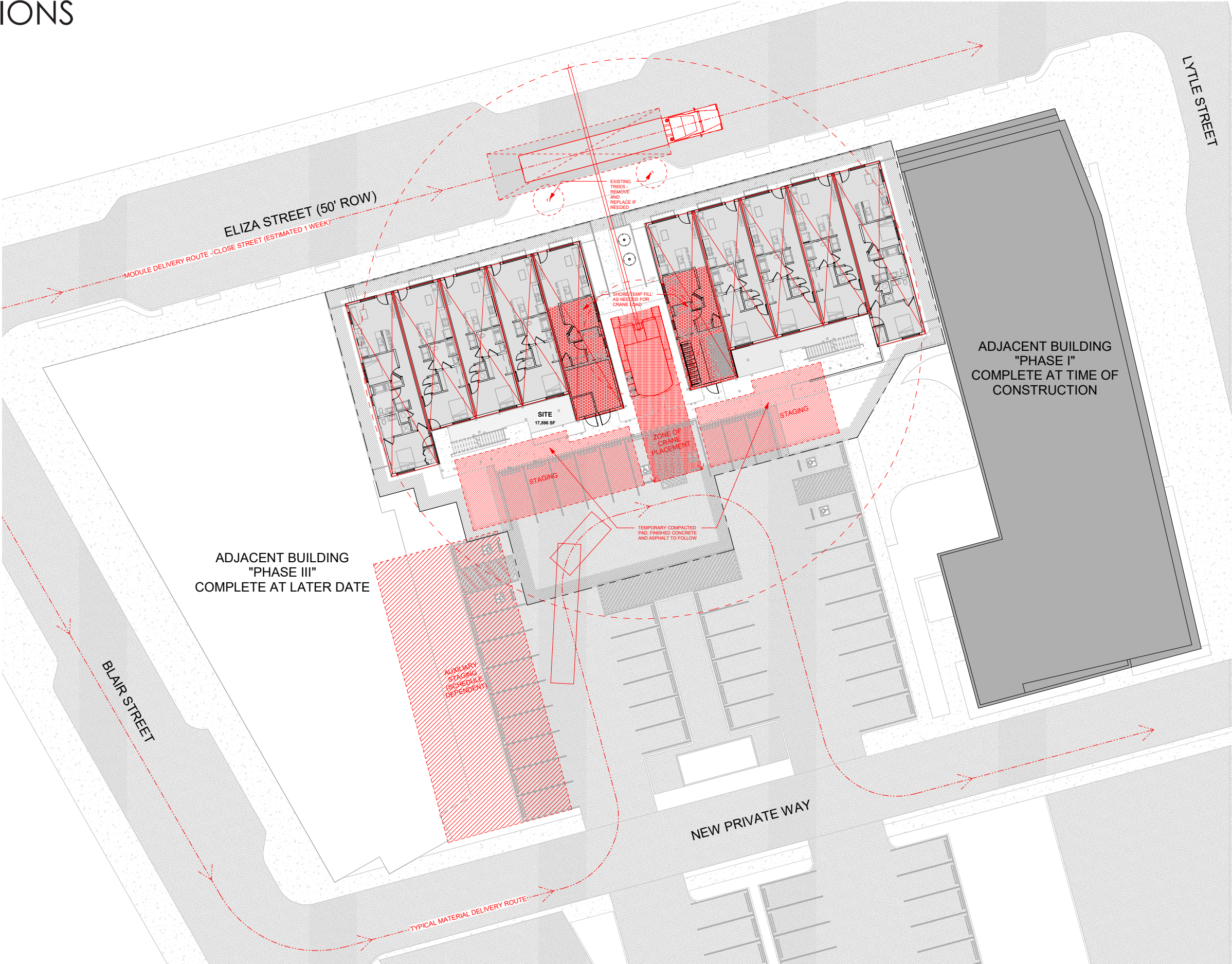




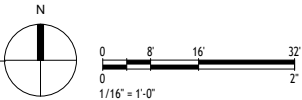
# CONSTRUCTION OPERATIONS

## Construction Sequencing

- Initial rough grading, utilities, and foundation installation will be approximately 4 months duration
- Off-site fabrication of modules will be concurrent with site work. Module installation on site will proceed after foundations are in place and sufficiently cured.
- Cladding installation, installation of panelized roof parapets, roof installation, balconies and stairs, final grading, planting, and concrete and paver flatwork will be completed after modules are installed
- Final utility connection and tie-in, completion of leave-outs and remaining interior finishes, and installation of remaining FFE will be completed in unit interiors
- Final punch and closeout will be completed on site



1 CRANE AND STAGING PLAN  
SCALE: 1/16" = 1'-0"





# CONSTRUCTION OPERATIONS

## Material Loading/Routing

- Module deliveries along Eliza Street, to be closed for approximately two weeks
- Regular deliveries for all other material via shared parking accessed via private way

## Crane

- A crane will be on site for approximately two weeks, to install modules
- Foundations will be braced or temporarily backfilled if needed, to shore against weight of loaded crane

## Right-of-Way Work

- Two sanitary, one sewer, one fire and one domestic tap to Eliza Street will be installed during first phase of site work.
- The street will be closed for this work. Work will be coordinated to minimize total closure time.
- Public Work permits to be obtained for all ROW closures

## On-Site Staging

- Designated staging areas to be used for job trailer, dumpsters for construction debris, and material staging for on-site construction
- If sequencing of Phase III allows, a portion of this site may be used for Phase II (proposed Project)
- Modules will be temporarily staged at an undeveloped property to be identified in the district. Modules will be covered and protected from the weather during this time, and visual nuisance will be minimized

## Waste

- All waste from unit manufacturing will be disposed of off-site
- On-site disposal areas to be screened from view, emptied minumum once per week

## Erosion Control

- Erosion and sedimentation control measures will be installed at site perimeter, as required per NPDES permit
- Filters will be installed at all storm sewer inlets

## Neighborhood Impact

- Regular work ours will be during the daytime only, between approximately 7:00am and 5:00pm. The use of heavy equipment and loud tools will be focused after 8:00am. Night lighting will be only as needed for security and safety.
- Traffic and deliveries will be routed from the highway directly to the site, avoiding adjacent neighborhood streets
- Parking for contractors will be located elsewhere on Block 36, or adjacent unoccupied blocks
- Dust will be controlled by periodic watering, in conformance with Allegheny County code.





THANK YOU!



OWNERS ADOPTION

KNOW ALL PERSONS BY THESE PRESENTS: THAT ALMONO LP, A PENNSYLVANIA LIMITED PARTNERSHIP, BY ALMONO, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER, BY U3 ADVISORS, INC., A DELAWARE CORPORATION, ITS AUTHORIZED AGENT, BY TODD STERN, ITS MANAGING DIRECTOR, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY, SITUATED IN THE 15TH WARD, CITY OF PITTSBURGH, ALLEGHENY COUNTY, PENNSYLVANIA

IN WITNESS WHEREOF THE SAID LIMITED PARTNERSHIP HAS CAUSED ITS SEAL TO BE AFFIXED BY THE HAND OF ITS AUTHORIZED AGENT, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ATTEST:

BY: \_\_\_\_\_  
NAME: TODD STERN  
TITLE: MANAGING DIRECTOR OF U3 ADVISORS, INC.

NOTARY PUBLIC

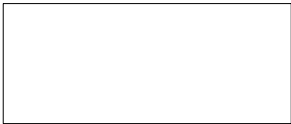
COMMONWEALTH OF PENNSYLVANIA )  
COUNTY OF ALLEGHENY ) SS:

ON THIS, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, A NOTARY PUBLIC, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED TODD STERN, BY HIMSELF AS AUTHORIZED AGENT.

IN WITNESS WHEREOF, I HERE UNTO SET MY HAND AND OFFICIAL SEAL.  
SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.  
WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MY COMMISSION EXPIRES:

THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.



NOTARY PUBLIC  
COMMONWEALTH OF PENNSYLVANIA

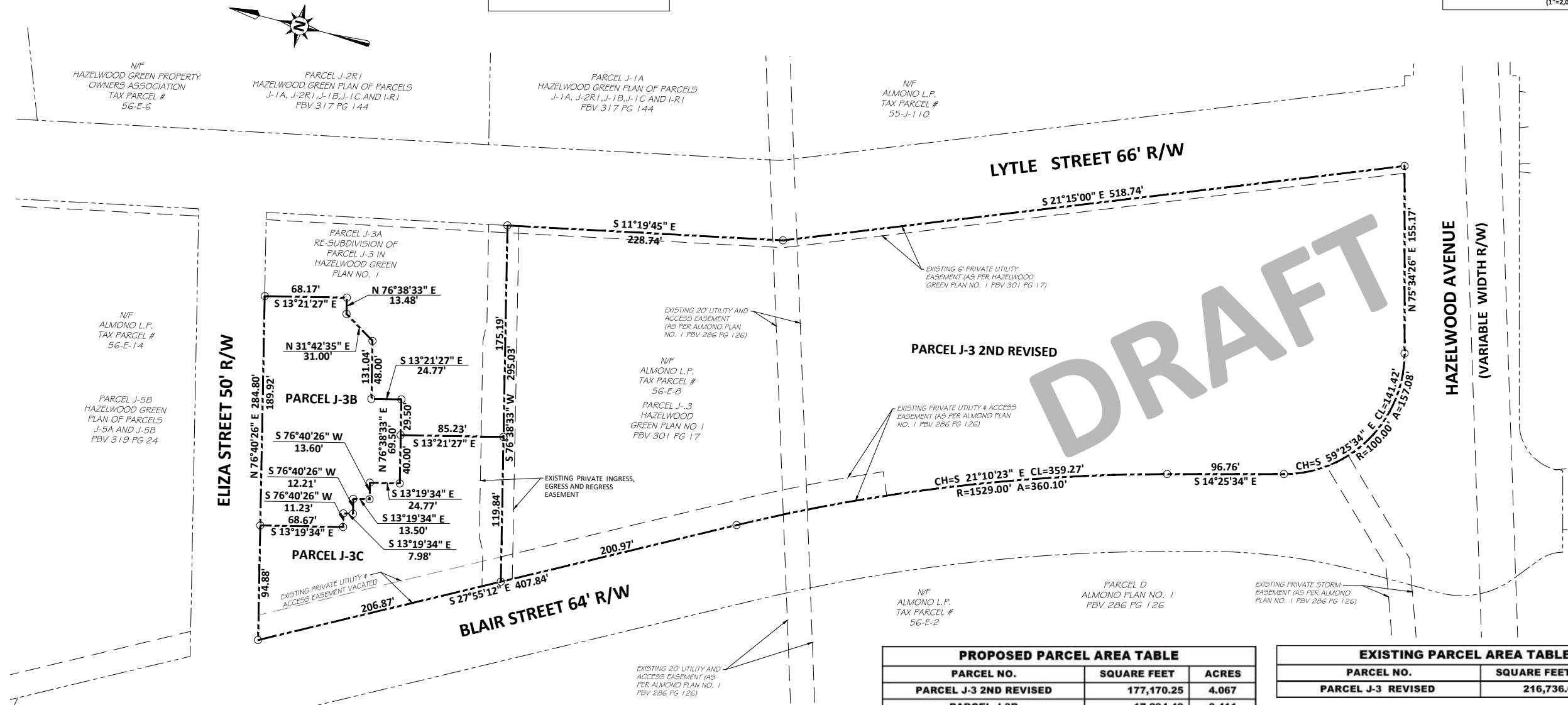
CERTIFICATION OF TITLE AND NO MORTGAGE

WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE RE-SUBDIVISION OF PARCEL J-3 REVISED IN THE HAZELWOOD GREEN PLAN NO. 1 IS IN THE NAME OF ALMONO LP AND IS RECORDED IN DEED BOOK VOLUME 11455 PAGE 542. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

WITNESS \_\_\_\_\_ OWNER \_\_\_\_\_

BASIS OF BEARING AND DISTANCES

BASIS OF BEARING IS NAD 83 PA SOUTH ZONE, US FOOT



| PROPOSED PARCEL AREA TABLE |             |       |
|----------------------------|-------------|-------|
| PARCEL NO.                 | SQUARE FEET | ACRES |
| PARCEL J-3 2ND REVISED     | 177,170.25  | 4.067 |
| PARCEL J-3B                | 17,894.49   | 0.411 |
| PARCEL J-3C                | 21,671.32   | 0.498 |
| TOTAL                      | 216,736.06  | 4.976 |

| EXISTING PARCEL AREA TABLE |             |       |
|----------------------------|-------------|-------|
| PARCEL NO.                 | SQUARE FEET | ACRES |
| PARCEL J-3 REVISED         | 216,736.06  | 4.976 |

COMMONWEALTH OF PENNSYLVANIA )  
COUNTY OF ALLEGHENY ) SS:

RECORDED IN THE OFFICE OF THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME \_\_\_\_\_, PAGE(S) \_\_\_\_\_.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

JERRY TYSKIEWICZ, MANAGER

SURVEYOR CERTIFICATION

I, ROBERT R. BEDNAR, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

DATE \_\_\_\_\_ NAME: ROBERT R. BEDNAR  
REG. NO. SU-051042-E

| No. | Date | Description | By |
|-----|------|-------------|----|
|     |      |             |    |
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RECORD OWNER  
ALMONO LP  
C/O REED SMITH  
REED SMITH CENTRE  
225 FIFTH AVENUE  
PITTSBURGH, PA 15222

ZONING DISTRICT : SP 10  
SPECIAL PLANNING - 10

BEING A RE-SUBDIVISION OF PARCEL J-3 REVISED  
IN HAZELWOOD GREEN PLAN NO. 1  
AS RECORDED IN PLAN BOOK VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_

|   |                                      |
|---|--------------------------------------|
| RE-SUBDIVISION OF PARCEL J-3 REVISED<br>IN HAZELWOOD GREEN PLAN NO. 1         |                                      |
| SITUATE IN<br>15th WARD, CITY OF PITTSBURGH<br>ALLEGHENY COUNTY, PENNSYLVANIA |                                      |
| Drawn By<br>WTS   | Scale:<br>1"=50'                     |
| Checked By<br>RRB   | Drawing No.<br>2-430 J-3 SUBDIVISION |
| Approved By<br>RRB  | Date:<br>JULY 7, 2025                |
|   | Sheet No.<br>1 of 1                  |
|   | Filename:<br>ALM24430HAHS            |

**KU Resources, Inc.**

117 SAGAMORE HILL ROAD  
TEL: (724) 327-7474

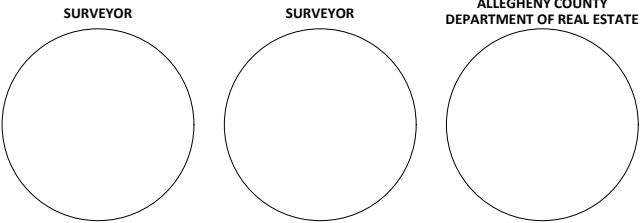
PITTSBURGH, PA 15239  
FAX: (724) 325-2734

CITY OF PITTSBURGH  
DEPARTMENT OF CITY PLANNING

APPROVED: \_\_\_\_\_  
CITY PLANNING COMMISSION

CHAIRMAN \_\_\_\_\_  
ATTEST: \_\_\_\_\_  
SECRETARY \_\_\_\_\_

DRAFT  
SUBDIVISION  
PLAN  
FOR  
REFERENCE  
ONLY  
  
NOT TO SCALE





# CONTEXTUAL DESIGN ADVISORY PANEL

- Panel Presentation and Review: June 24, 2025
- City Planning Report: Received July 10, 2025

**The Panel commented favorably towards the following:**

- *The rowhouse-type massing is unique and makes this project stand out.*
- *The materiality of the parking lot elevation is creative and engaging.*
- *The courtyard area brings an increased sense of community to the project.*

**The Panel expressed concerns regarding the following items:**

- *Consider alternatives to the horizontal siding. A recommendation of vertical siding to simplify the facade was suggested as a design alternative.*
- *Consider a deeper cap or a different material application to strengthen the top of the building.*
- *Consider seating and offset walking paths in the courtyard space for further activation.*

**Concerns brought up by individual panelists include:**

- *Consider ornamental grasses in the courtyard that are more shade resistant.*
- *Consider projecting the angled canopy beyond the edge of the building for a more refined design. (Staff note: coordinate possible encroachment with DOMI)*
- *Consider the appearance of the west facade if there will be a gap in time between this phase of the development and future phases.*

**The project team addressed the concerns raised at CDAP as follows:**

- The panel commented that variation of horizontal and vertical siding created a rythm and scale that did not fit the heirarchy of the design scheme. The siding directionality now varies with entire unit stacks, and spans of wall 16'-20' in width.
- The project team studied numerous cornice/cap designs for the top of the building. Overhanging cornices broke with the modern response to industrial architecture in this part of the design. Instead, the negative-line recess of the trim between bays was reinforced, and carried to the top of the parapet as a recessed cornice line.
- The courtyard design includes an offset walking path, and benches for seating, in scale with the size and occupancy of this exterior space.
- Shade-tolerants and drought-resistant grasses have been selected for the courtyard, and other landscape areas that will be shaded for significant portions of the day.
- The street-facing canopy design has been developed, for a more subtle and layers interface with the front of the building.
- The west facade will be addressed similarly to the courtyard-facing exterior walls.