

2.BDA-2025-06525

929 Liberty Avenue

Penn-Liberty Historic District

Downtown Neighborhood

Building renovations



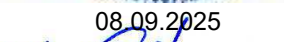
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622 Genelle

FOR RENT
Richard L.
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www.richardl.com

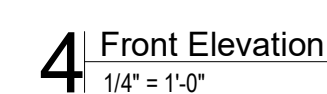
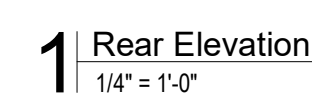
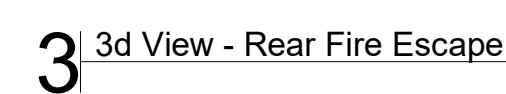
AMAZING
BOOKS
AND RECORDS

OPEN



HART
ARCHITECTS

Hart Architectural Services, LLC



Mixed Use Renovation

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Exterior Elevations

A2.1

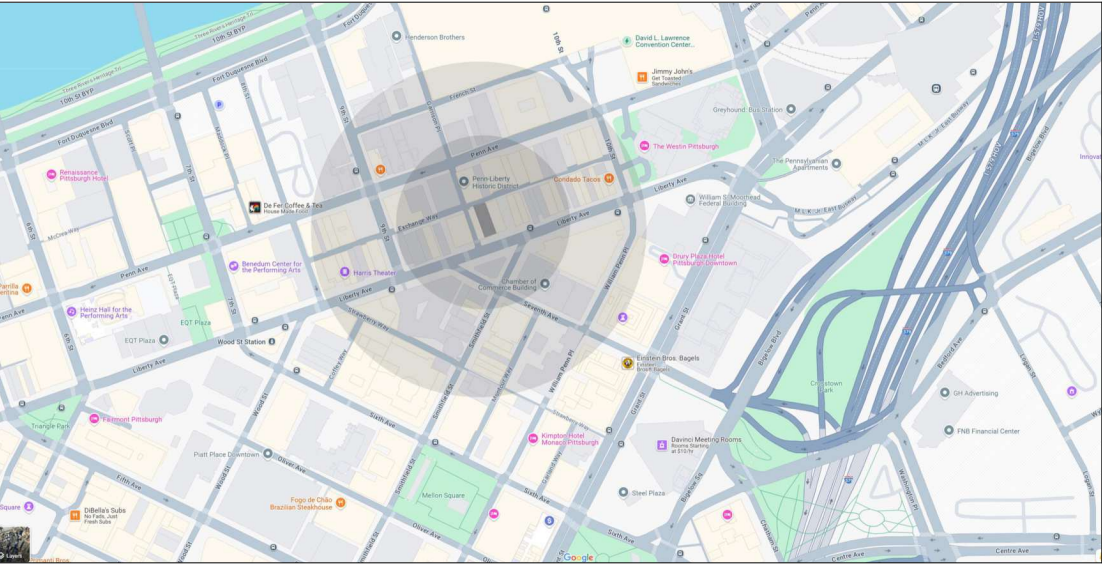
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Aerial View of Site



True North Project North

Area Map



09.09.2025



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GENERAL NOTES

General	
1.	Ownership and use of these documents. This is an instrument of professional service and shall be the property of Hart Architectural Services, LLC whether the project for which it is made is executed or not. No changes, alterations, additions or deletions may be made hereto except by the Architect and this shall not be used or reproduced by anyone on other projects, for additions to this project or for completion of this project by others without the express written consent of Hart Architectural Services, LLC. Submission or distribution to meet regulatory requirements or for purposes in connection with this project is not to be construed as publication in derogation of the rights of Hart Architectural Services, LLC. © Copyright 2015 Hart Architectural Services, LLC.
2.	All work and materials shall be in full conformance with the latest federal, state, and local laws and ordinances, including their most recent revisions, additions, amendments, and interpretations. In the event of conflict, the most stringent requirements shall apply.
3.	The Contract Documents are complementary and what is required by one shall be as binding as if required by all. The Contractor shall coordinate all portions of the work as described in the Contract Documents. Notify the Architect for resolution of all discrepancies prior to construction.
4.	In all cases where work depicted in these drawings represents a complete system composed of separate parts, it is the responsibility of the general contractor to provide all of the parts, components, accessories, hardware, fasteners, etc. required for a complete and fully functioning assembly within the definitions of normal industry standards, whether or not these miscellaneous items are directly represented or specified in the construction documents.
5.	General Contractor to obtain and pay for all permits, inspections and final sign offs required by the governing authorities covering the work.
6.	Substitutions, revisions, or changes must be submitted to the owner for review prior to purchase, fabrication, or installation.
7.	Details are usually keyed and noted "Typical" only once, and are representative of similar conditions throughout, unless otherwise noted.
Construction	
1.	Unless shown in drawing, placing of access doors in gypsum board ceilings shall not be accepted. Locate and install all work as required to preclude the need for access through the ceilings. Coordination of this requirement shall be the responsibility of the contractor.
2.	All materials and equipment shall be installed per manufacturer's instructions.
3.	Provide blocking or strapping in partitions as required for all millwork, casework, accessories, grab bars, or other similar items attached to walls.
4.	Install fireproofing at all penetrations (pipes, ducts, structural steel, etc.) from between floors and from between fire rate spaces.
5.	All electrical outlets, data and telephone outlets/jacks, switches, pull stations, thermostats, exist lights, and all other wall mounted accessories shall be aligned vertically or horizontally when in close proximity, unless otherwise noted.
6.	Ensure that surfaces to receive finishes are clean, true, and free of irregularities. Do not proceed until unsatisfactory conditions have been corrected. Commencement of work shall indicate installers acceptance of substrate.
7.	Sealant, caulking and flashing location shown on drawings are not intended to be inclusive. Contractors to follow manufacturers' installation recommendations and standard industry and building practices.
8.	Contractor to provide occupancy signs as may be required by the local building official. Coordinate location and signage with Client's signage contractor.
9.	Contractor retains sole responsibility to provide and maintain signage, barricades, lighting, and guardrails as required by applicable codes and regulations to protect occupants of building(s) and workers.
10.	Contractor retains sole responsibility for construction means, methods, techniques, sequences, and procedures.
Dimensions	
1.	All dimensions and existing conditions shall be checked and verified by the contractor at the site. Contractor shall notify owner and architect of any discrepancy in dimension or condition prior to proceeding with work in that area.
2.	It shall be the responsibility of each contractor to verify all dimensions and inspect conditions of prior work by other trades before starting work. Proceeding with the work shall constitute acceptance of prior work.
3.	Dimensions shown as "VIF" shall be verified by the contractor in the field by laying out the partitions. Notify Architect of any discrepancies in dimensions prior to proceeding with work.
4.	Dimensions shown as "CLEAR" or "HOLD" shall be maintained and allow for thickness of finishes including floor finishes. Notify Architect of any discrepancies prior to proceeding with work.
5.	All partitions are dimensioned from finish face or structural grid unless otherwise noted.
6.	Interior elevation dimensions referenced are above finish floor for each room throughout the documents unless otherwise noted. Finish floor elevations may vary from room to room depending upon floor finishes.
7.	Unless otherwise noted, diagonal walls are at a 45-degree angle to the project column grids.
Existing Conditions	
1.	All existing construction that is to remain as part of the project shall be protected from damage throughout the period of the construction work. Any damaged construction or features shall be replaced at the expense of the contractor to the satisfaction of the owner.
2.	Repair and prepare existing surfaces scheduled to remain as necessary for the application of new finishes.
3.	The Architect has no knowledge of and shall not held liable for any asbestos or other hazardous materials on the jobsite. If asbestos or other hazardous materials are discovered during construction, isolate the affected area and contact the owner for further instructions before proceeding.
4.	All new finishes are to align flush without visible joints or evidence of addition. "Align" as used in these documents shall mean to accurately locate finishes in the same plane.
Structural Design Criteria	
Design Soil Bearing Capacity:	1500 PSF
Floor Live Load:	40 psf (residential)
Floor Dead Load:	15 psf
Ground Snow Load:	30 psf
Roof Live Load:	12-20 psf (GSL governs)
Roof Dead Load:	15 psf
Wind Design Speed:	115mph
Concrete compressive strength:	3000 psi min.

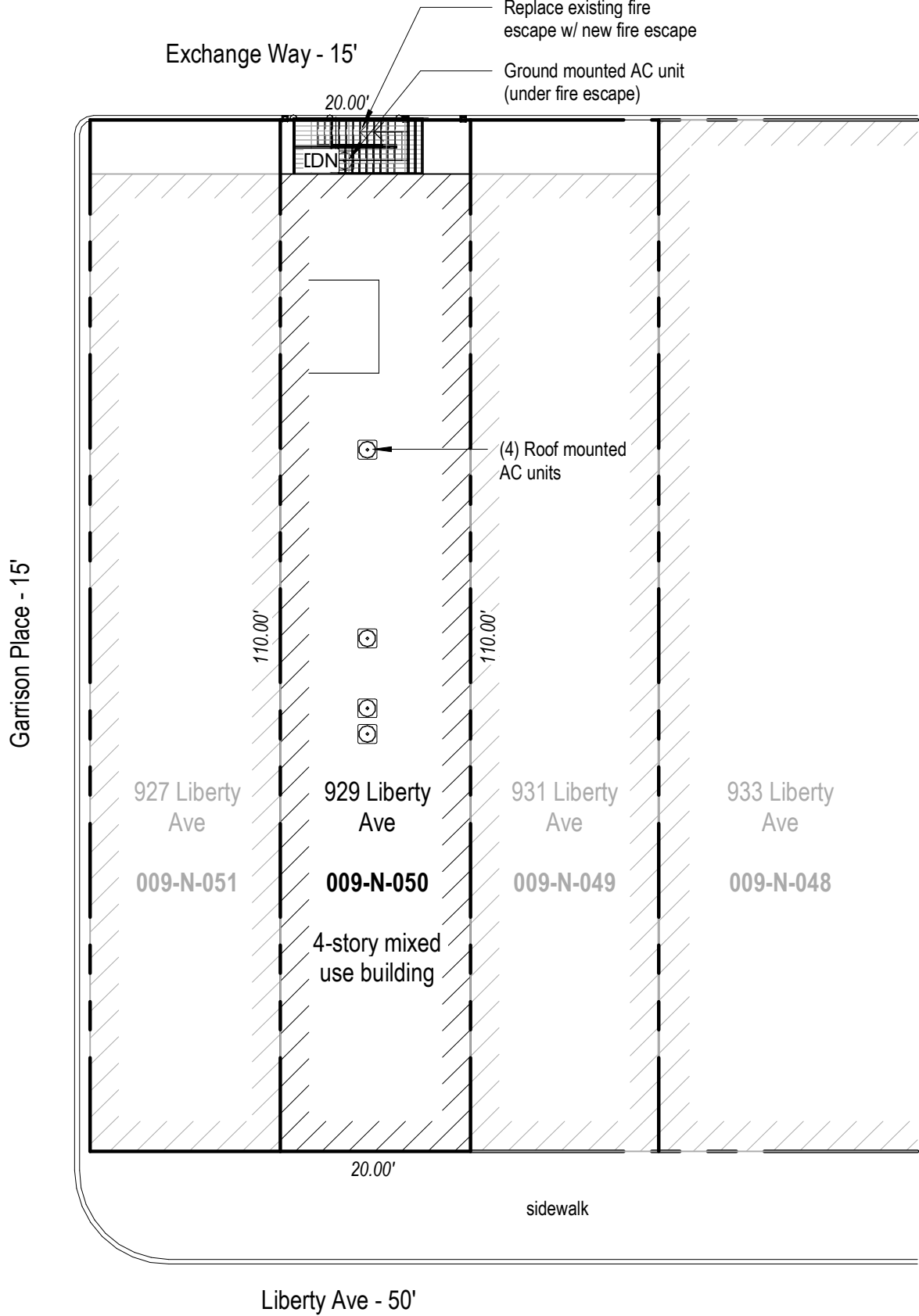
ABBREVIATIONS

ABV	Above	FIN	Finish	OTS	Open to Structure Above
ACC	Accessible	FE	Fire Extinguisher	PBD	Particleboard
ACMV	Adhered Concrete	FEC	Fire Extinguisher Cabinet	PERP	Perpendicular
ACT	Masonry Veneer	FF	Finished Floor	PLAM	Plastic Laminate
ADDM	Acoustic Ceiling Tile	FH	Fire Hydrant	PL	Plate, Property Line
ADJ	Addendum	FHC	Fire Hose Cabinet	PLAS	Plaster
AFF	Adjacent	FIG	Figure	PLYWD	Plywood
AFG	Above Finished Floor	FLR	Floor	PNL	Panel
AHU	Above Finished Grade	FP	Fire Protection	PR	Pair
ALT	Air Handling Unit	FR	Fire-Rated	PRCST	Precast
ALUM	Alternate	FRMG	Framing	PRKG	Parking
ANOD	Aluminum	FRP	Fiber-Reinfr/c'd Plastic	PROP	Property
APPROX	Anodized	FRT	Fire-Resistant Treated	PSF	Pounds per Square Foot
ARCH	Approximate	FT	Foot, Feet	PT	Paint, Point,
AUTO	Architect/Architectural	FTG	Footing	PT	Pressure-Treated
AV	Automatic			PTD	Painted
AVG	Audio/Visual	GA	Gauge	PTN	Partition
	Average	GALV	Galvanized	PVC	Polyvinyl Chloride
BD	Board	GC	General Contractor		
BLDG	Building	GFRC	Glass-Fiber Reinforced Concrete	R	Radius, Riser
BLKG	Blocking	GL	Glass	RCP	Reflected Ceiling Plan
BOT	Bottom	GYP	Gypsum	RD	Roof Drain, Road
BSMT	Basement	GWB	Gypsum Wall Board	REF	Reference, Refer To, Refrigerator
BTW	Between			REG	Register
CAB	Cabinet	H	High	REINF	Reinforce, Reinforced
CB	Catch Basin	HB	Hose Bibb	REQD	Required
CEM	Cement, Cementitious	HCWD	Hollow Core Wood	REV	Revision, Revised
CER	Ceramic	HDBD	Hard Board	RFG	Roofing
CG	Corner Guard	HDMR	Hardware	RM	Room
CI	Cast Iron	HM	Hollow Metal	RO	Rough Opening
CIP	Cast-In-Place	HO	Hold Open	RTU	Room-top Unit
CJ	Control Joint	HORIZ	Horizontal	RT	Right
CL	Centerline	HR	Hour		
CLG	Ceiling	HT	Height	S	South
CLR	Clear	HVAC	Heating, Ventilation & Air-Conditioning	SCHED	Schedule
CMU	Concrete Masonry Units	HWD	Hardwood	SCH'D	Scheduled
COL	Column	ID	Inside Diameter	SD	Storm Drain
COMM	Communication	IGU	Insulated Glazing Unit	SECT	Section
CONC	Concrete	IN	Inch	SGL	Single
CONN	Connection, Connect	INCL	Include, Including	SHT	Sheet
CONSTR	Construction	INFO	Information	SHTHG	Sheathing
CONT	Continuous, Continue	INSUL	Insulation	SIM	Similar
CORR	Corrugated	INT	Interior	SPEC	Specifications
CT	Ceramic Tile	JAN	Janitor	SPKLR	Sprinkler
		JT	Joint	SPKR	Speaker
D	Deep	KIT	Kitchen	SQ	Square
DBL	Double			SS	Stainless Steel, Service Sink
DEMO	Demolish			STC	Sound Transmission Class
DEPT	Department	L	Long, Landlord	STD	Standard
DET	Detail	LAM	Laminate, Laminated	STL	Steel
DF	Drinking Fountain	LAV	Lavatory	STOR	Storage
DIA	Diameter	LT	Light	STRUCT	Structural
DIAG	Diagonal, Diagram	LTG	Lighting	SUSP	Suspended
DIFF	Diffuser	MAINT	Maintenance	T	Tread
DIM	Dimension	MAS	Masonry	T&G	Tongue And Groove
DN	Down	MATL	Material	TEL	Telephone
DR	Door	MAX	Maximum	TEMP	Temporary, Temperature
DS	Downspout	MECH	Mechanical	TER	Terrazzo
DTL	Detail	MED	Medium	THK	Thick, Thickness
DW	Dishwasher	MEMB	Membrane	TMPO	Tempered
DWG	Drawing	MEZZ	Mezzanine	TO	Top Of
DWR	Drawer	MGT	Management	TSTAT	Thermostat
		MFR	Manufacturer	TV	Television
E	East	MIN	Minimum, Minute	TYP	Typical
EA	Each	MISC	Miscellaneous	UGND	Underground
EIFS	Exterior Insulation Finish System	MO	Masonry Opening	UNFIN	Unfinished
	Expansion Joint	MS	Mount, Mounting	UON	Unless Otherwise Noted
EJ	Electric	MT	Mop Sink		
ELEV	Elevation, Elevator	MT	Mop, Mounting	VB	Vapor Barrier
ENCL	Enclose, Enclosure	MTD	Mounted	VERT	Vertical
EP	Electric Panel	MTL	Metal	VEST	Vestibule
ETR	Existing to remain	MVBL	Movable	VNR	Veneer
EQ	Equal			VR	Vapor Retarder
EQUIP	Equipment	N	North		
EXH	Exhaust	NIC	Not in Contract	W	West, Width, Wide Watt
EXIST/(E)	Existing	NOM	Nominal	W/	With
EXP	Expansion, Exposed	NS	Non-shrink	W/O	Without
EXT	Exterior	NTS	Not to Scale	WC	Water Closet
				WD	Wood
FA	Fire Alarm	O	Owner	WP	Weatherproof, Waterproof, Waterproofing, Work Point
FBO	Furnished By Others	OC	On Center	WR	Water-Resistant, Water-resistant barrier
FCB	Fiber Cement Board	OD	Outside Dimension / Diameter	WT	Weight
FD	Floor Drain	OPNG	Opening	WWF	Welded Wire Fabric
FDC	Fire Department Connection	OPP	Opposite		
FDTN	Foundation	ORD	Overflow Roof Drain		

DRAWING LIST

Sheet No.	Sheet Name	Issue Date	Issued	Revision Date	Revision Name	Revision Description
A0.0	Cover Sheet	06.20.25	●			
A0.2	Installation Standards	06.20.25				
A0.5	Code Compliance	06.20.25				
A0.6	Demolition Plans	06.20.25				
A0.7	Site Plan	06/20/25				
A1.1	Level 1 & 2 Floor Plans	06.20.25				
A1.2	Level 3 & 4 Floor Plans	06.20.25				
A1.3	Framing Plans	06.20.25				
A2.1	Exterior Elevations	06.20.25				
A2.5	Building Sections	06.20.25				
A6.5	Door & Window Schedules	06.20.25				
E1.1	Level 1 & 2 Lighting / Power Plans	06.20.25				
E1.2	Level 3 & 4 Lighting/Power Plans	06.20.25				
M1.1	Mechanical Plans	06.20.25				
M1.2	Mechanical Floor Plans	06.20.25				

Site Plan



CODE SUMMARY

Authority Having Jurisdiction:	City of Pittsburgh
Building Code:	2018 International Existing Building Code (IEBC)
Compliance Path:	Work Area, Level 3 w/ Change of Use
Zoning:	GT-C
Lot Area:	2200 S.F.
Use Group:	Level 1: (A-2) Tasting room for brewery (1st floor) Level 2: No work. Level 3 & 4: (R-2) 2 dwelling units on each floor. Basement: No occupancy (IBC 1207.2)
Previous Use Group:	Level 1: Mercantile Level 3 - 4: Unoccupied
Construction Type:	IIIB
Building Height:	4 stories, 50'-0"
Floor area:	First Floor: 1950 SF Second Floor: 1950 SF Third Floor: 1950 SF Fourth Floor: 1950 SF Total: 7800 SF
No. of Exits:	2 from each level
Occupant Load:	Level 1: 73 Level 3: 12 Level 4: 9 Total : 92
Fire Sprinkler System:	Yes, NFPA13
Fire Alarm System:	Yes, Addressable
Egress Lighting:	Yes
Climate Zone:	5A
Energy Conformance:	Performance
Accessibility:	Level 1: Fully accessible Level 3 & 4: Inaccessible floors, Type 'B' units not required per IBC 1107.7.2.

Plumbing Fixture Count*:	Occ	PF/Occ	Req'd	Proposed
WC - M	37	2 per 50	2	2
WC - F	37	1 per 25	2	2
Lavatory	73	1 per 75	1	4
Service Sink			1	1
Drink Fountain			0	0

* Level 1 Tasting Room

PROJECT DIRECTORY

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Client: MK Liberty Partners

Mixed Use Renovation

929 Liberty Ave
Pittsburgh, PA 15222

Construction Documents

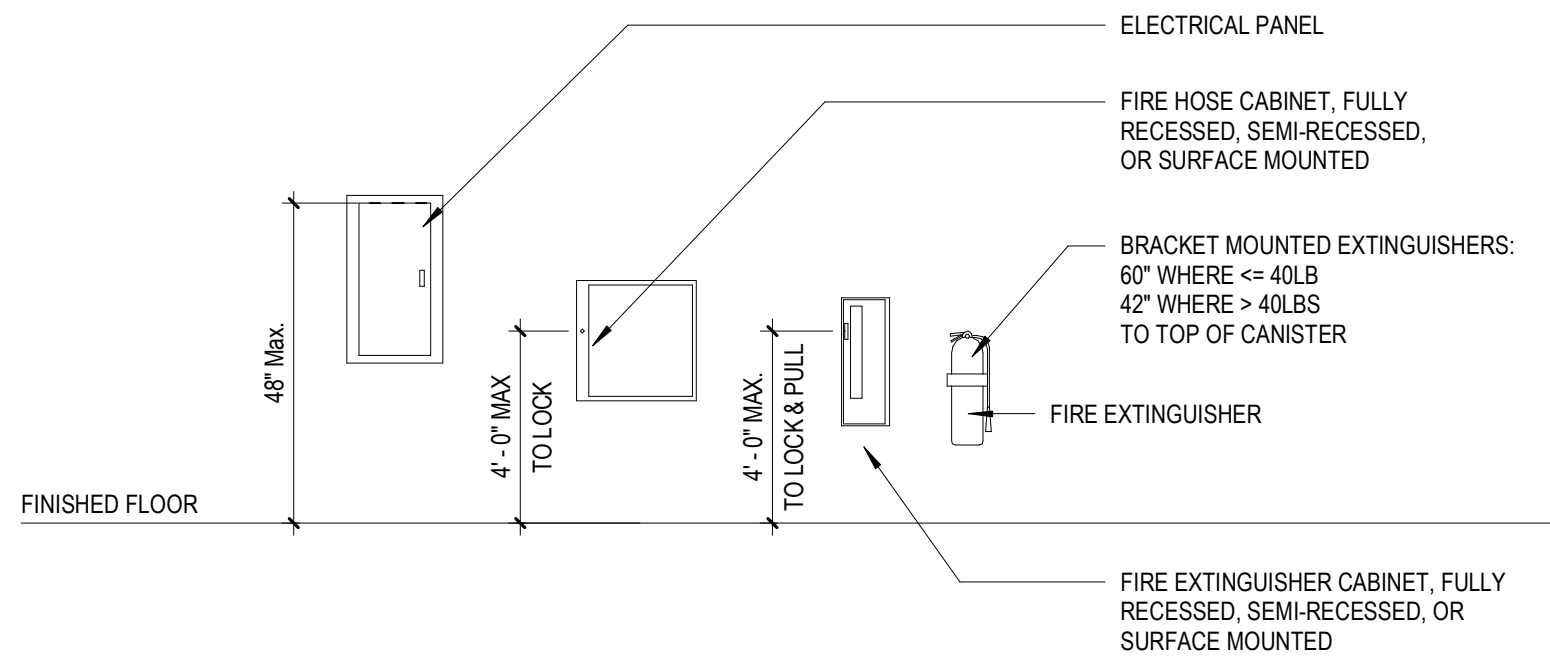
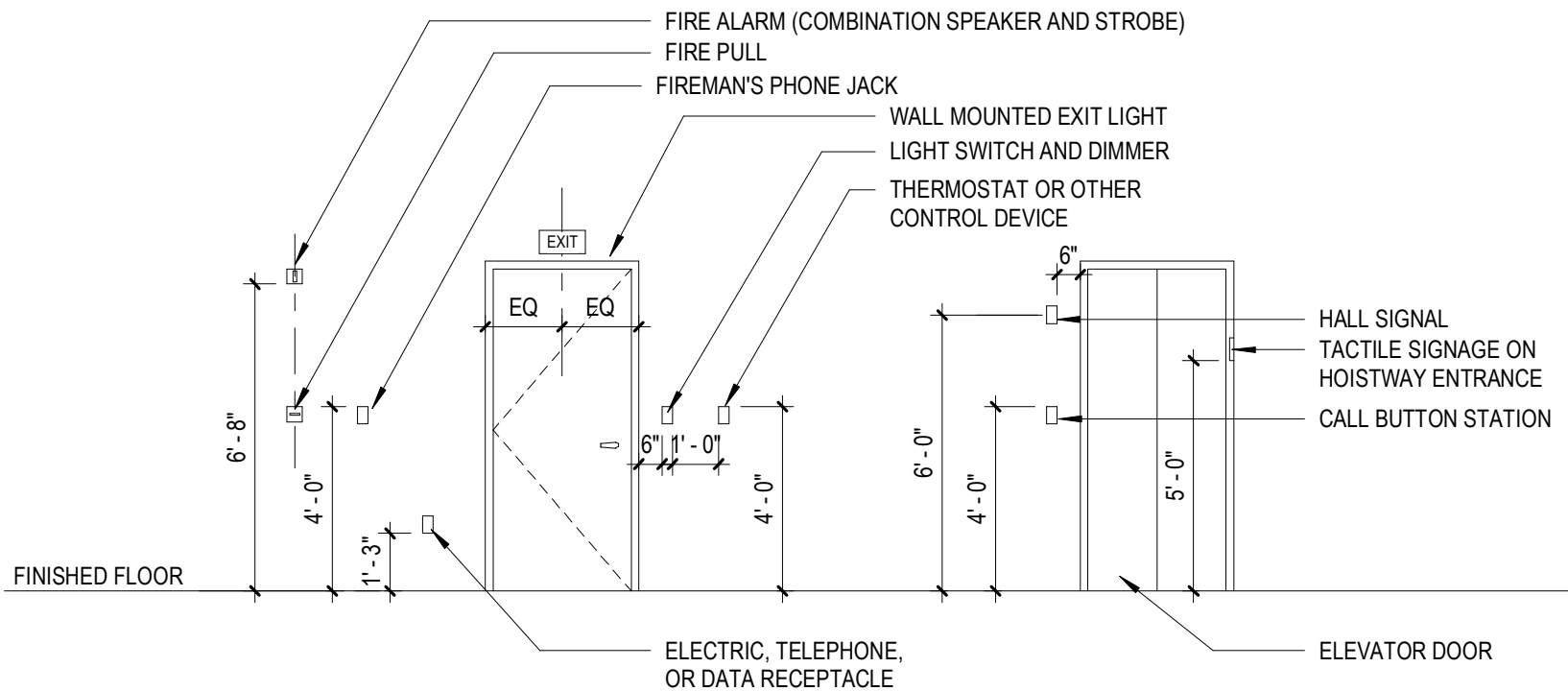
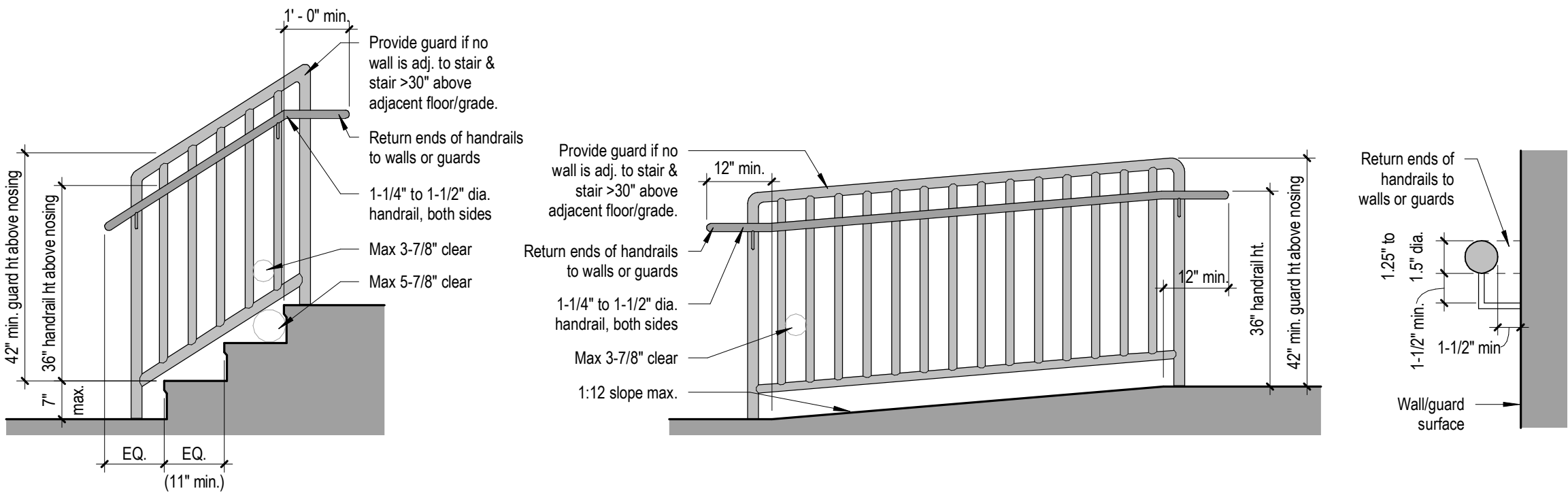
Description	No.	Date

Date 09.09.2025
Hart Arch Project No. 2501.090

Cover Sheet

A0.0

NOTE: Fixtures shown for reference only. Not all equipment illustrated is to be used.

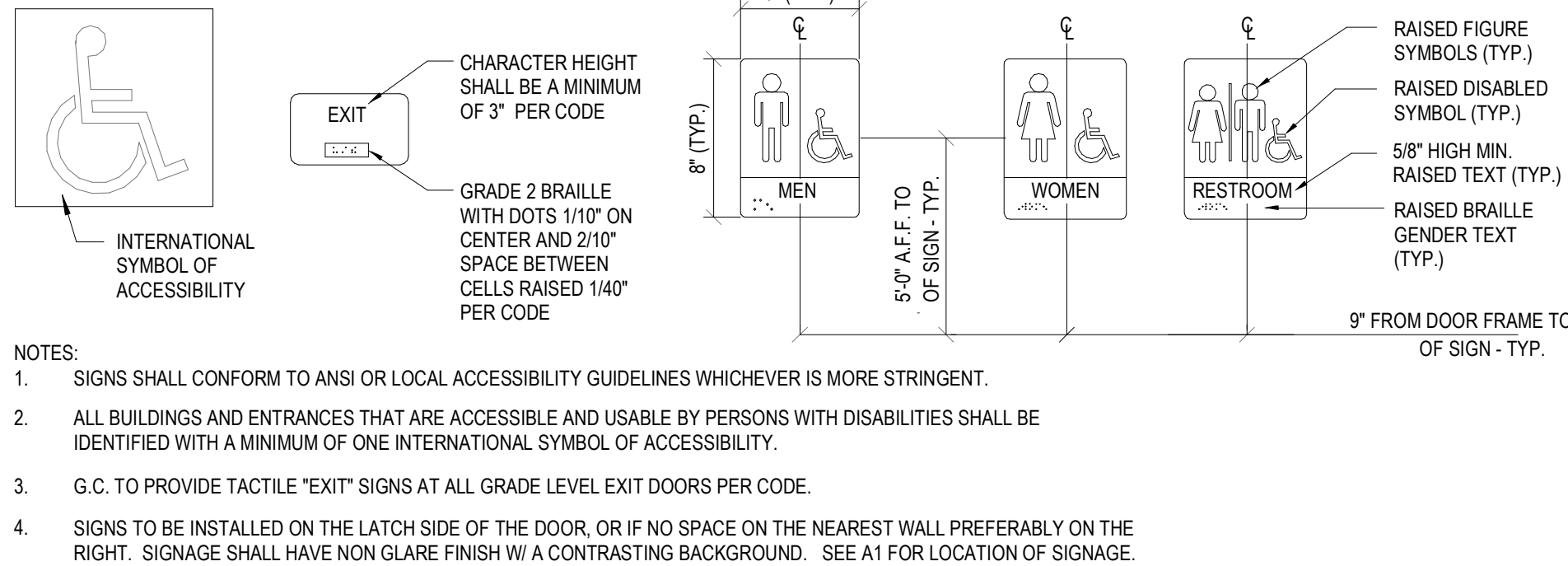


7 Guard and Handrail Requirements

Note: Stair and ramp illustrations are for dimensional purposes only. See plans and elevations for material selections and construction details.

6 Controls Mounting Heights

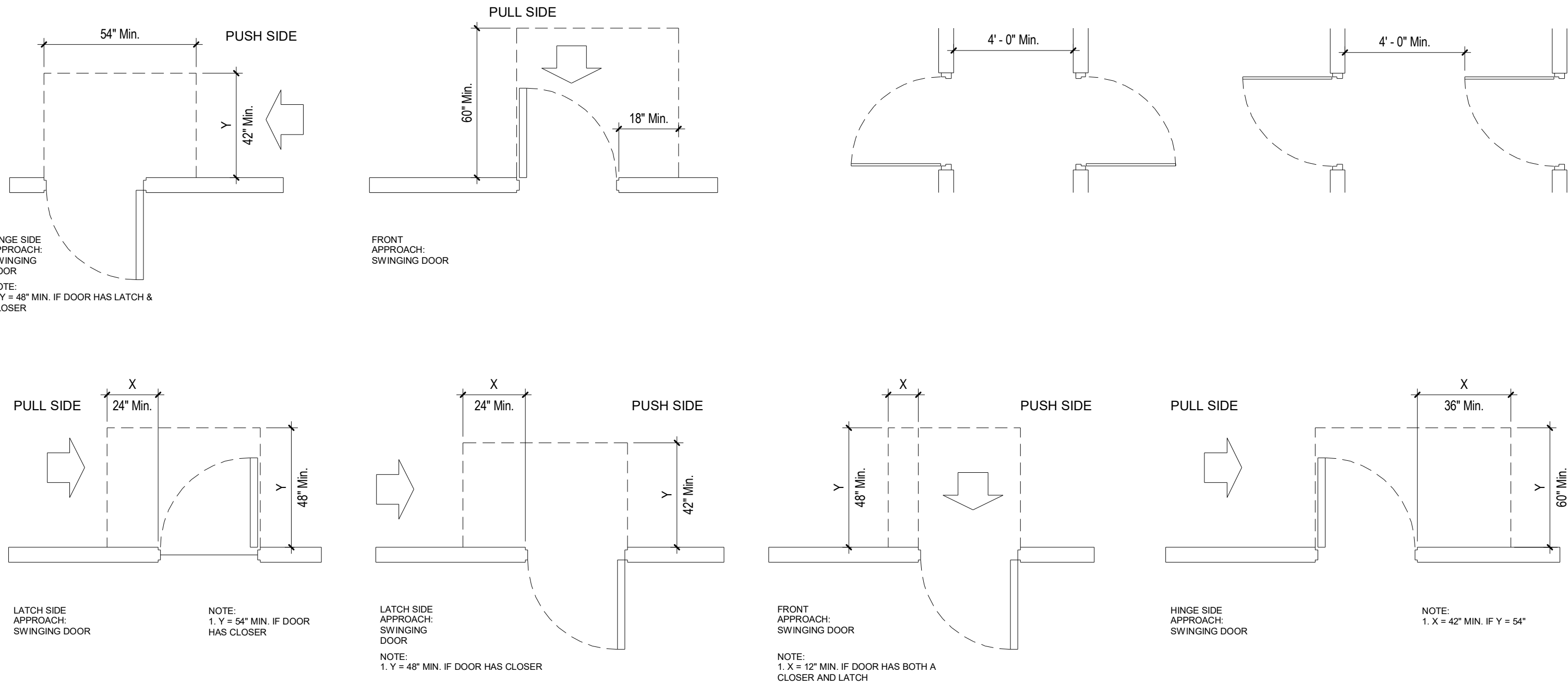
5 Miscellaneous Equipment Mounting Heights



4 ADA Signage

TACTILE SIGNAGE	DRINKING FOUNTAIN PLAN	DRINKING FOUNTAIN SECTION	DRINKING FOUNTAIN	LAVATORY	TOILET	TOILET TISSUE HOLDER	GRAB BAR - SIDE WALL	CLOTHES HOOK	MIRROR	DINING TABLE	SERVICE COUNTER
NOTE: MOUNTING HEIGHT FROM FINISHED FLOOR TO HIGHEST OPERABLE CONTROL											
URINAL	BABY CHANGING STATION	SWITCHES	TELEPHONE	PAPER TOWEL DISPENSER W/ WASTE	SANITARY NAPKIN VENDOR	COMBINATION TP/SEAT CVR. NAPKIN DISPENSER	SOAP DISPENSER	GRAB BAR - REAR WALL	GRAB BAR	ACCESSIBLE LAVATORY	L-SHAPEED SHOWER COMPARTMENT SEAT

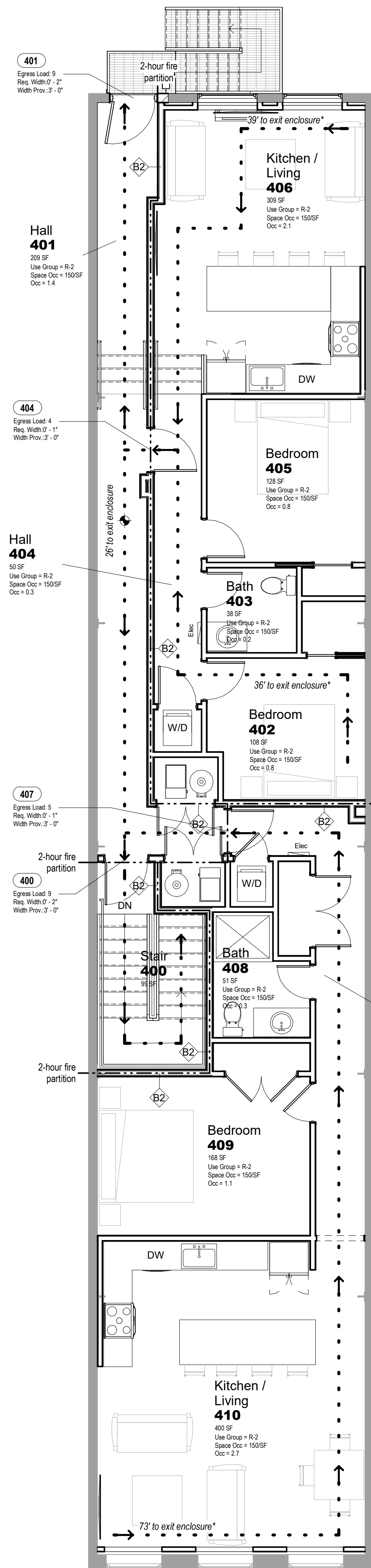
3 Fixture Requirements



1 Door Clearance Requirements

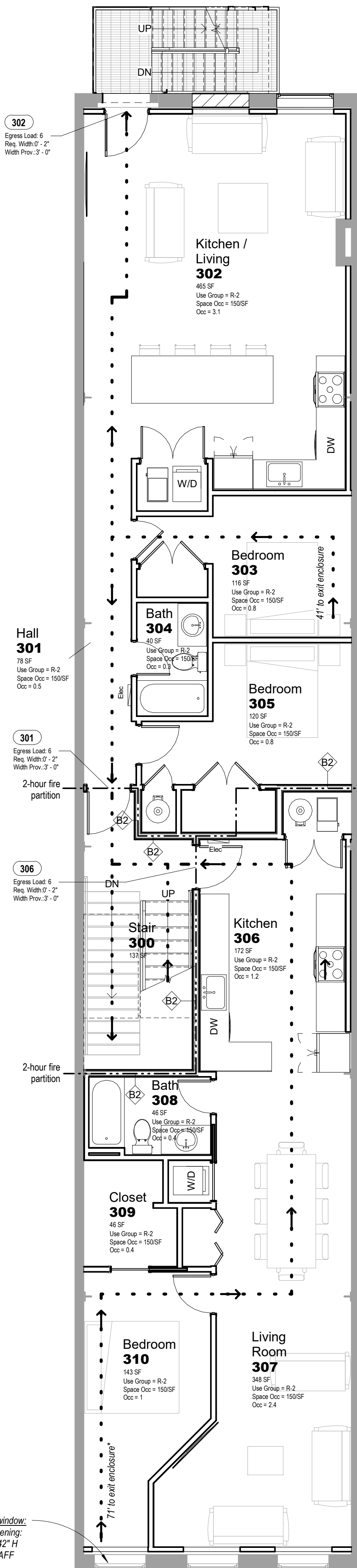
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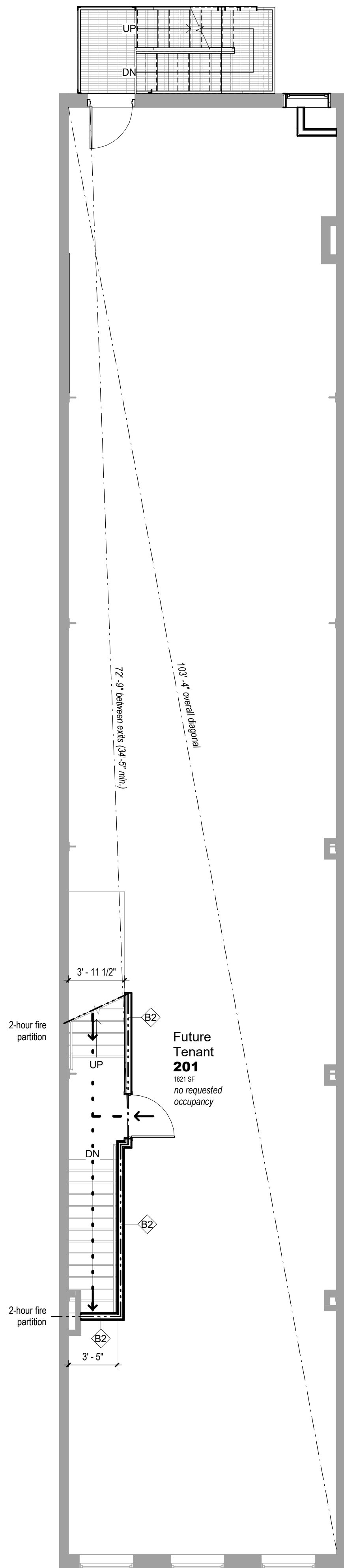
* IBC Table 1006.2.1 - Spaces with one means of egress permitted with max. 150' travel and sprinkler system

4 Level 4 Code Plan
3/16" = 1'-0"

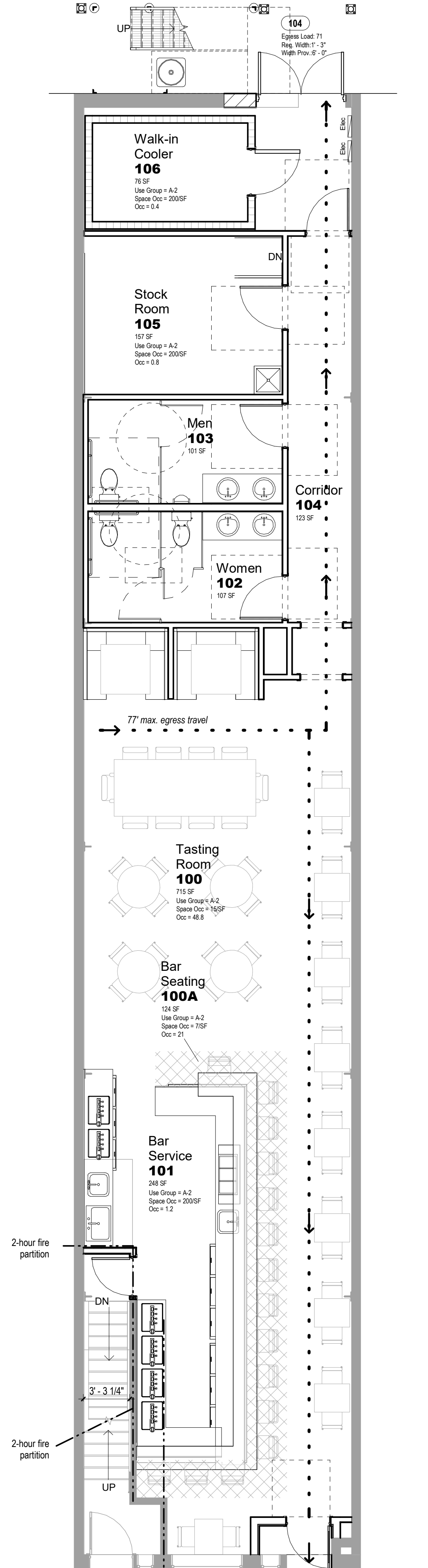


* IBC Table 1006.2.1 - Spaces with one means of egress permitted with max. 150' travel and sprinkler system
IBC Table 1006.3.3(1) - Stories with one exit permitted with sprinkler system, 3rd story above grade plane, 125' max egress travel

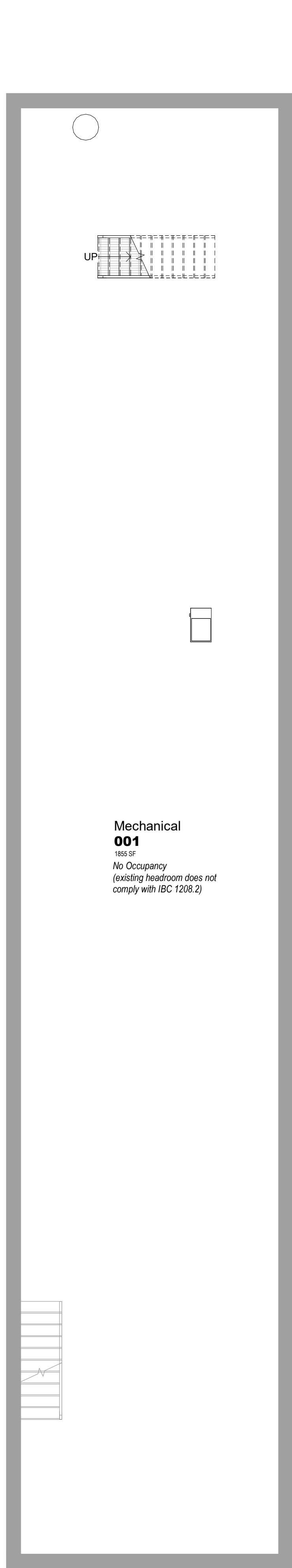
3 Level 3 Code Plan
3/16" = 1'-0"



2 Level 2 Code Plan
3/16" = 1'-0"



1 Level 1 Code Plan
3/16" = 1'-0"



0 Basement Code Plan
3/16" = 1'-0"

Code Compliance - Fire and Life Safety

- Egress doors shall be readily operable from the egress side without the use of a key or any special knowledge of effort (NFPA 101, 7.2.1.5.2).
- Special locking devices shall be of an approved type.
- All new doors shall have approved lever handles.
- Egress doors shall be operable with not more than one release operation, unless specifically otherwise approved (NFPA 101, 7.2.1.5.9.2).
- Where two exits are required, exit doors shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the building or area to be served measured in a straight line (IBC 1015.2.1).
- All egress doors with locks and/or latches shall have a decal placed along the door frame above the door in 1" black letters that reads: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" (IBC 1008.1.9.3).
- Egress doors serving areas having an occupant load of 100 or more persons may be provided with a latch or lock only if it is approved panic hardware. Where panic hardware is required on a fire rated door, listed fire exit hardware shall be used (NFPA 101, 12.2.2.3).
- All required exits, exit access, and exit discharge areas shall be continuously maintained clear and unobstructed for instant use in the event of a fire or other emergency (NFPA 101, 7.1.10.1).
- The walking surfaces of all means of egress shall be nominally level and shall be uniformly slip resistant along the natural path of travel (NFPA 101, 7.1.6).
- Approved tactile signage shall be located at each door requiring an exit sign (NFPA 101, 7.10.1.3).
- Approved portable fire extinguishers shall be provided in accordance with NFPA Standard 10.
- The fire alarm system shall be installed in accordance with NFPA Standard 72. A fire alarm submittal including manufacturer's literature for each component shall be made by the installing contractor prior to the installation.
- Interior finish materials shall be class A, B, or C having a flame spread rating of 200 or less and a smoke developed rating of less than 450. Flammability certification shall be available for interior finish materials.
- Approved address numbers shall be posted to comply with NFPA 1, Section 10.12.1.
- Flammability certification shall be available for any fire retardant treated wood used in construction of this project.
- Doors opening into required rated partitions shall be protected with a smoke or draft stop assembly with a corresponding fire rating and shall be self closing. Contractor to provide details of penetrations through all fire resistive assemblies for approval by authority having jurisdiction.
- Any penetration through a fire-rated wall assembly including any electrical or mechanical penetrations shall be fully fire caulked and sealed.

Code Compliance - Legend

- Access route of egress
- 1 HR fire-rated partition
- 2 HR fire-rated partition
- ADA clearance requirements



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Construction Documents

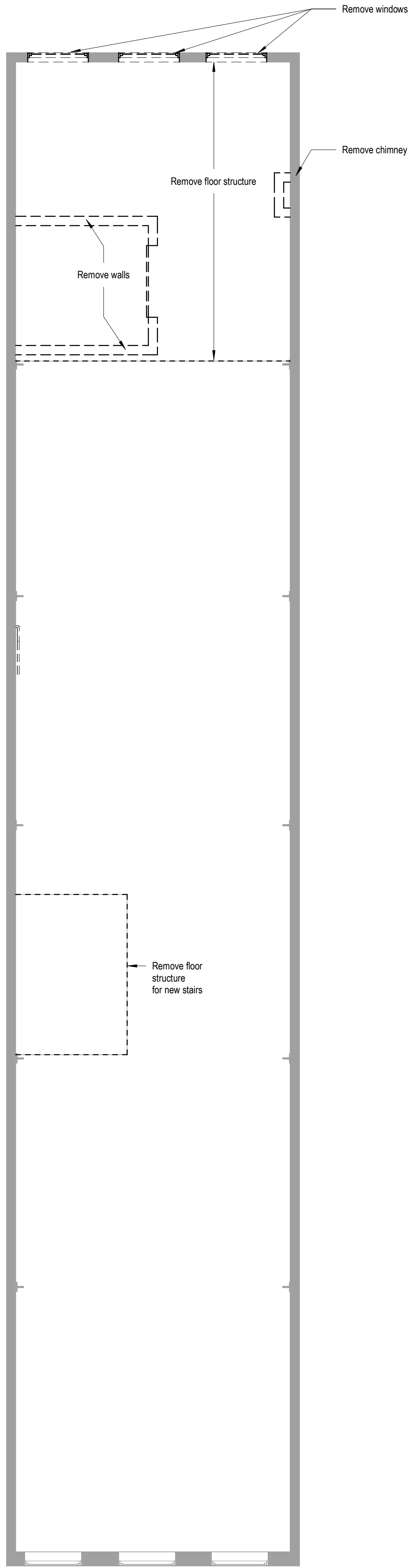
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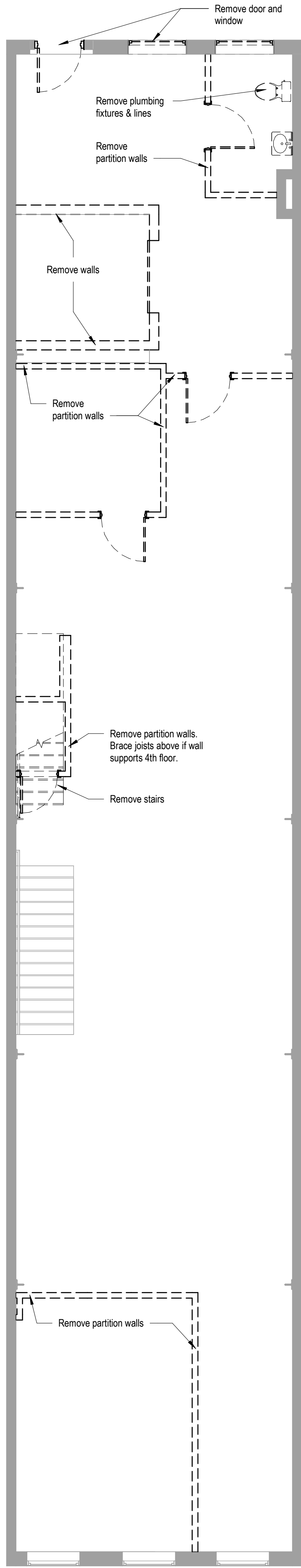
Code Compliance

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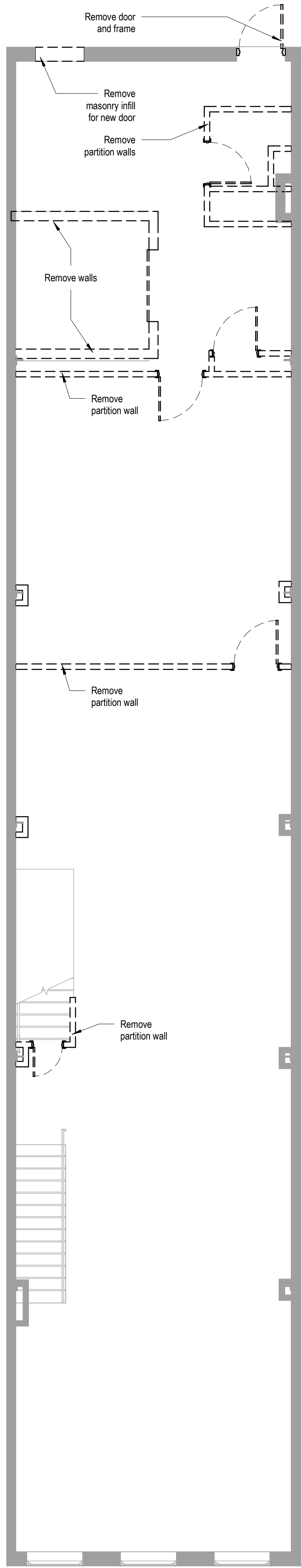
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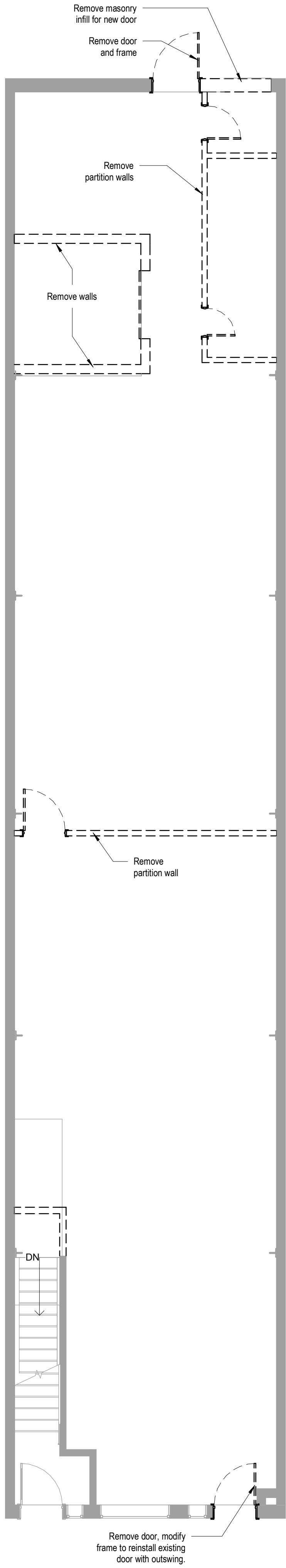
4 Level 4 Demolition Plan
3/16" = 1'-0"



3 Level 3 Demolition Plan
3/16" = 1'-0"



2 Level 2 Demolition Plan
3/16" = 1'-0"



1 Level 1 Demolition Plan
3/16" = 1'-0"



09.09.2025
William D. Hart



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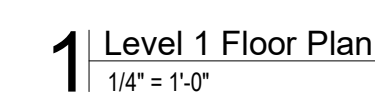
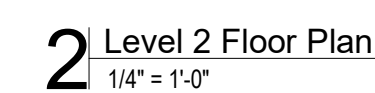
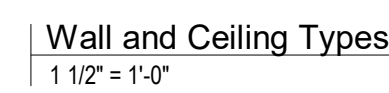
Construction Documents

Description	No.	Date

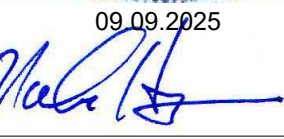
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Demolition Plans

A0.6



A1.1



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Wall Type 'A1'
2-hour fire partition
UL Des. U301

Wall Type 'A2'
2-hour fire partition
UL Des. U301

Wall Type 'B2'
2-hour fire partition
UL Des. U301

Wall Type 'D'
Furred insulated wall

Wall Type 'E'
2-hour fire wall
IBC Table 721.1(2)
Item 1-2.2

Wall Type 'E2'
2-hour fire separation
UL Des. U905

Floor/Ceiling A
4th floor ceiling

Floor/Ceiling B
1st - 3rd floors
2-hour fire separation
UL Des. L511

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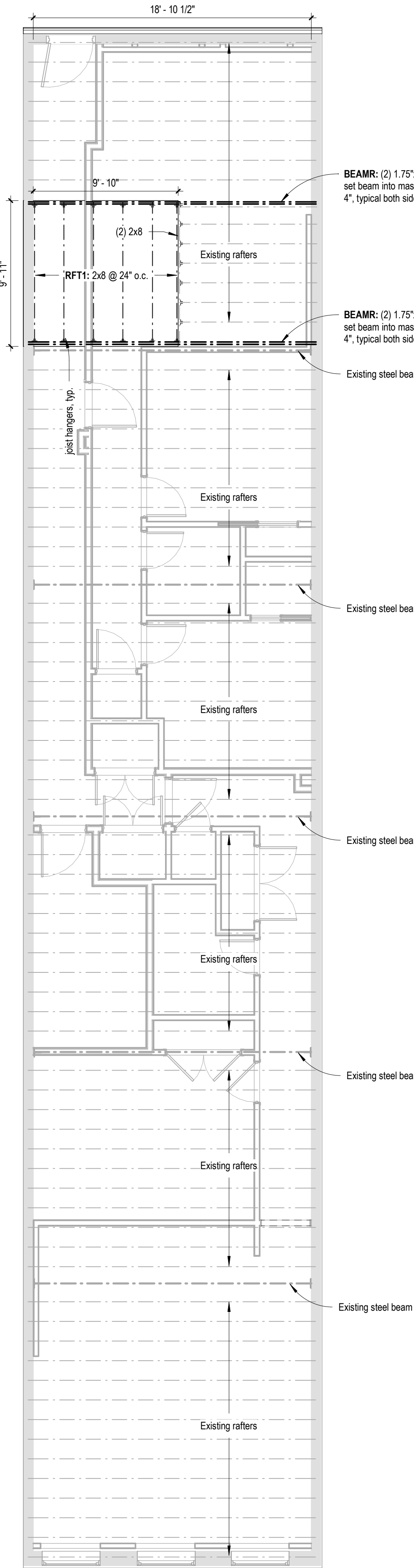
This detailed floor plan illustrates the second floor of a building, featuring three distinct apartment units: APT 3B, APT 3A, and APT 3C. The plan is oriented with North at the top, indicated by a north arrow and the label 'N'. Unit APT 3B, located on the left, consists of a Kitchen/Living area (465 SF), a lower floor above (8' ceiling), and a staircase (6'-0" landing). Unit APT 3A, in the center, includes a Kitchen/Living area (465 SF), a Bath (40 SF), a Hall (78 SF), and a Stair (137 SF). Unit APT 3C, on the right, features a Kitchen/Living area (348 SF), a Bath (46 SF), a Closet (46 SF), and a Stair (137 SF). The plan also shows common areas, including a central staircase (300) and a landing (301). Dimensions are provided for all rooms and common areas, and the total area for each unit is listed. The plan is drawn to a scale of 1/8" = 1'-0".

A1.2

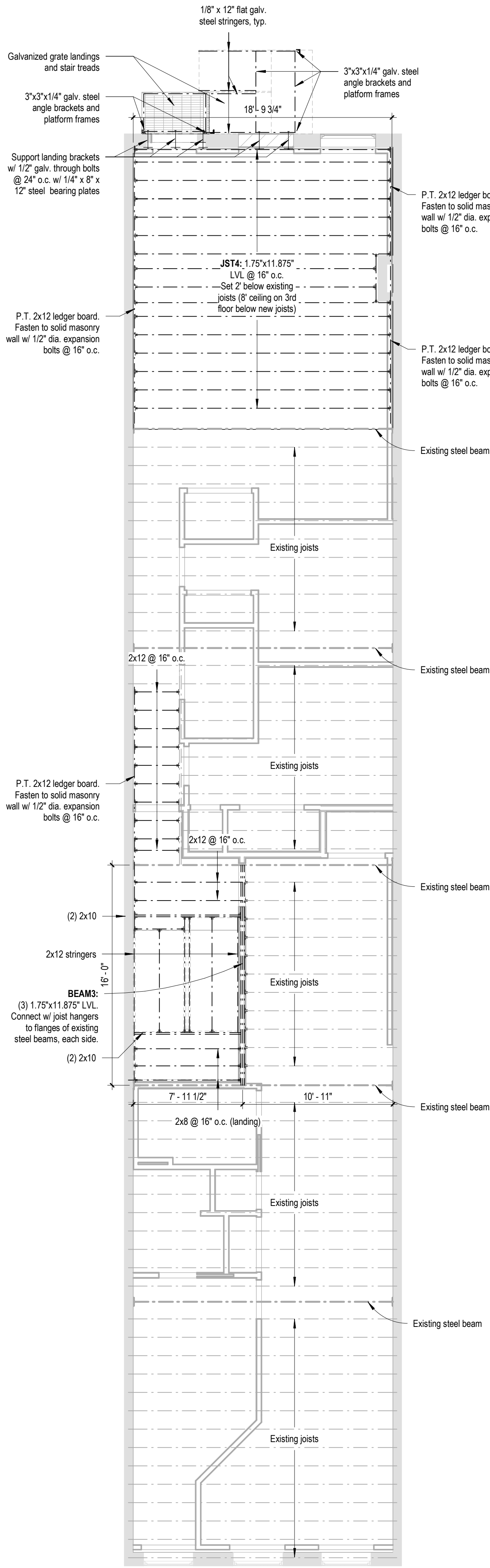
- General Structural Notes:**
- **Loads:**
 - Roof Snow Load - 23 psf (30 psf ground snow)
 - Roof Dead Load - stick - 10 psf
 - Ceiling Live Load - 20 psf
 - Ceiling Dead Load - 10 psf
 - Floor Live Load - 40 psf (30 psf at sleeping area)
 - Fire Escape Live Load: 100 psf
 - Floor Dead Load - 10 psf (20 psf @ tile)
 - Soil Bearing Capacity: 2,000 psf
 - Wind - 115 mph (3 second gust) Exp. B

- Framing:**
- Design is based on 2018 International Building Code.
 - Wood frame engineering is based on the DNS, "National Design Specification for Wood Construction", Latest Edition.
 - All wood structural members are to be SPF #2 or better.
 - Fasten each roof rafter to top plate with Simpson H2.5A clips (or approved equal) at all bearing points.
 - All lumber exposed to weather or in contact with concrete or masonry foundations shall be preservative-treated southern pine #2 or better.
 - Roof sheathing shall be 3/16" OSB A.P.A. rated sheathing 24/16, exposure 1.
 - All pressure treated wood members to be southern yellow pine or stronger and without incising.
 - All cuts, holes and injuries such as abrasions or holes from removal of nails and spikes which may penetrate the treated zone shall be field treated with an approved preservative per AWPA M4.
 - Fasten sheathing to framing members with 8d nails at 8" o.c. at panel edges and 12" o.c. at intermediate supports.
 - All exterior headers to be (3)2x10 (typ.) (u.n.o.)
 - All headers shall be supported by (1)2x jack stud and (1)2x king stud, minimum.
 - The number of studs specified at a support indicates the number of Jack studs required, U.N.O.
 - All engineered lumber products are to meet or exceed the following values, U.N.O.
 - $f_b = 2,600$ psi
 - $E = 2,000$ psi
 - Face nail multi-ply 2X beams and headers with 2 rows of 12d nails at 12" o.c. staggered. Apply nailing from both faces at 3-ply or more conditions.
 - Wood beam, joist, and post laminations to be fastened together per National Design Specifications for Wood Construction Section 15.3.3.1 and per IRC 602.3(1).
 - Sheath all exterior walls with 7/16" OSB fastened with 8d nails at 6" o.c. at edges and 12" o.c. in the field. Provide 2x horizontal blocking between studs at panel edges.
 - All floor truss shop drawings are to be signed and sealed and submitted to the Architect/Engineer for review and approval prior to fabrication and delivery.
 - Floor trusses to be designed by the manufacturer with a maximum live load deflection of L/480 and maximum total load deflection of L/240.
 - Provide solid blocking within floor system under all posts.
 - Floor sheathing shall 23/32 A.P.A. rated sturd-1 floor 24/16, exposure 1, tongue and groove edges. Fasten sheathing to framing members with glue and 10d common nails at 6" o.c. at panel edges and 12" o.c. at intermediate supports.
 - Glue adhesives shall conform to the performance specifications in AFG-01.
 - Provide double floor joist under all partition walls parallel to joist spans.
 - Builder to verify corrosion-resistance compatibility of hardware and fasteners in contact preservative-treated wood. Contact lumber and hardware suppliers to coordinate.
 - Double 2x4 studs are to be provided in bearing walls where wall plates are cut on both side of a studs for heat or cold air chases/returns.
 - All steel pipe columns supporting steel beams are to be bolted or welded to the supported member.
 - Connections of multi-ply LVL's at face mount hangers are to be per the LVL manufacturers specifications to develop the full strength of the designated hanger.
 - All steel W-shapes are to be ASTM A992 Grade 50 steel.
 - All steel plates and angles to be ASTM A-36.
 - All light gauge steel framing structural design and specification to be furnished by supplier/ fabricator.

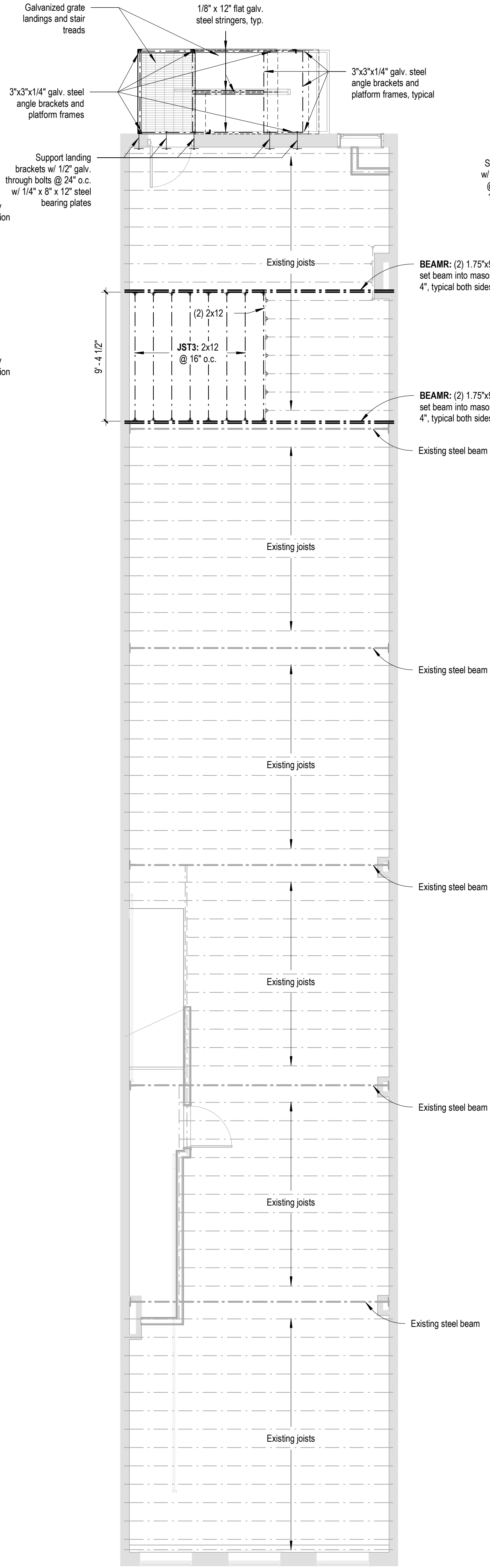
- Foundation and Masonry:**
- Concrete design is based on ACI 318-14. ($f_c = 3,500$ psi for foundation, $f_c = 4,000$ psi for flat work), ($f_y = 60,000$ psi).
 - Concrete masonry units shall be ASTM C90 with a minimum strength of 1,900 psi ($f_m = 1,500$ psi). All mortar shall be ASTM C270, Type S.
 - CMU design is based on ACI 530-13 & 530.1-13.
 - Provide 1/2" dia. anchor bolts at 4'-0" o.c. (min. 2 per plate, max. 12" from end of plate) with 7" minimum embedment into foundation wall, typical at perimeter unless noted otherwise.
 - All footings to bear below frost line (minimum 36" below finished grade).
 - All rebar to have minimum 3" concrete coverage, U.N.O.
 - Provide control joints at all inside corners of slab edges and other locations where slab cracks are likely to develop.
 - All masonry below grade and all reinforced cells to be grouted solid.
 - All exposed above grade CMU to have raked mortar joints.
 - All exposed block ends to have finished/closed ends.



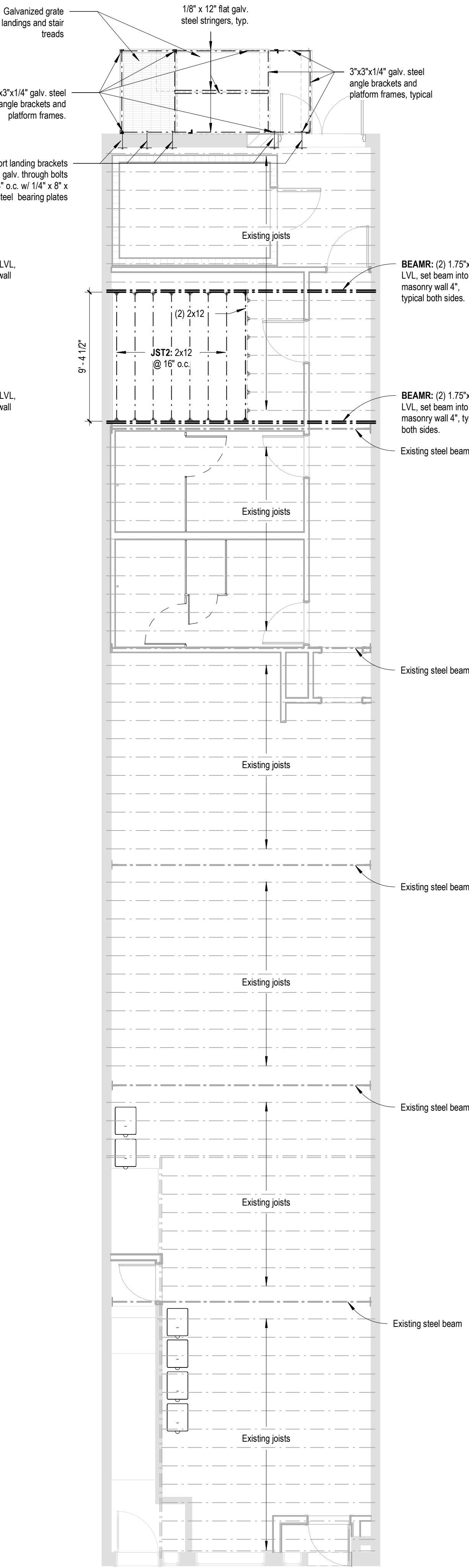
4 | Roof Framing Plan
3/16" = 1'-0"



3 | Level 4 Framing Plan
3/16" = 1'-0"



2 | Level 3 Framing Plan
3/16" = 1'-0"



1 | Level 2 Framing Plan
3/16" = 1'-0"



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**Mixed Use
Renovation**

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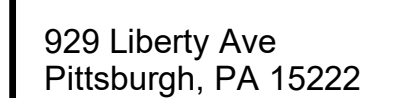
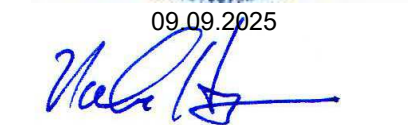
Construction Documents

Description	No.	Date

Date 09.09.2025
Hart Arch Project No. 2501.090

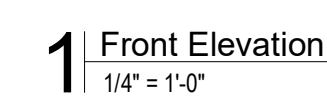
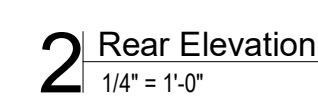
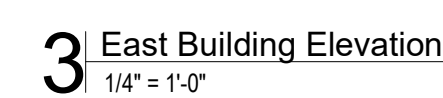
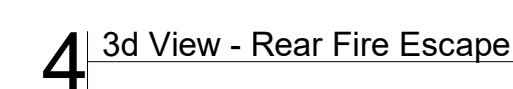
Framing Plans

A1.3

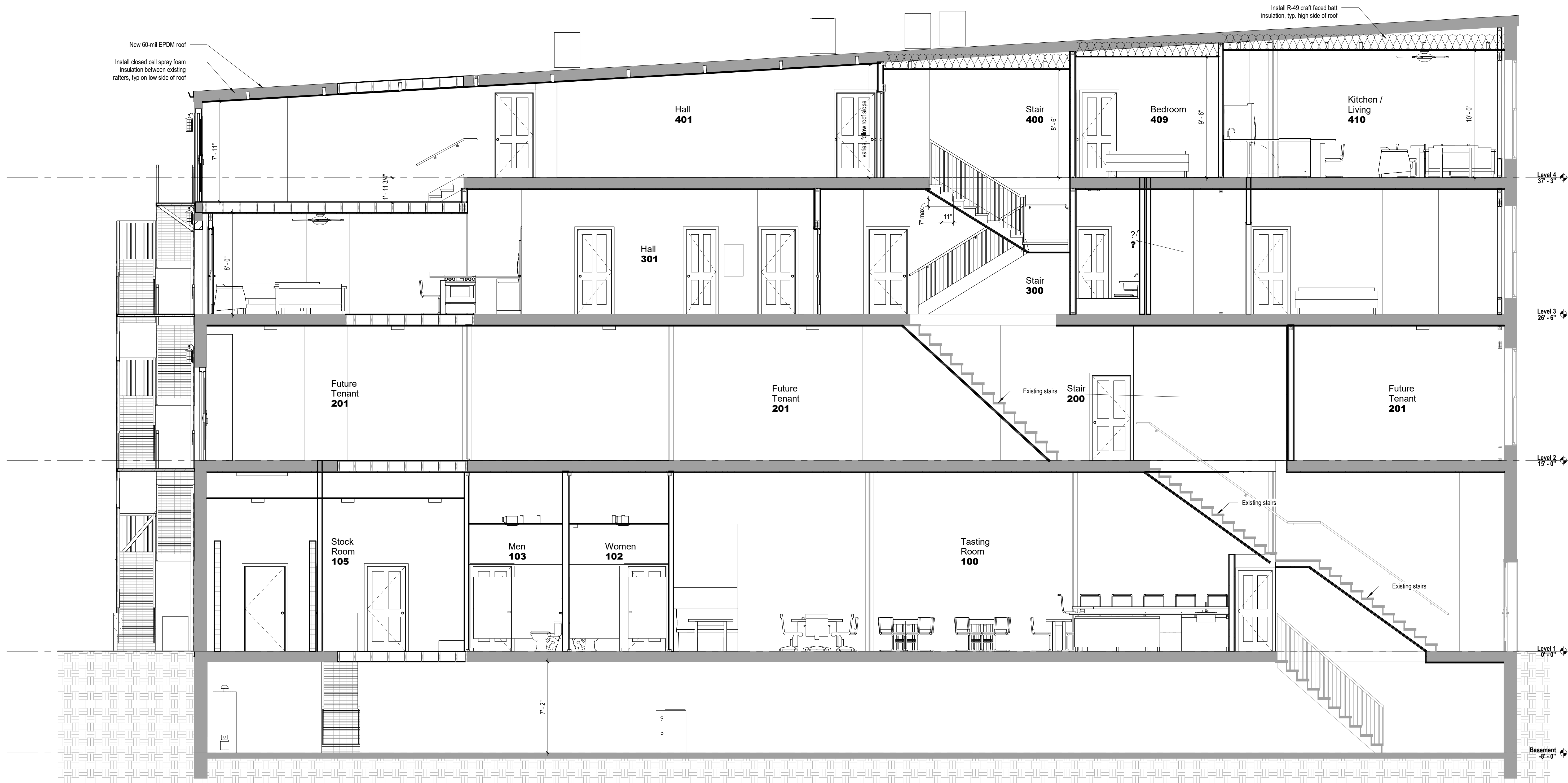
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Exterior Elevations

A2.1



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1 Building Section
1/4" = 1'-0"



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Construction Documents

Description	No.	Date

Date 09.09.2025
Hart Arch Project No. 2501.090

Building Sections

A2.5

Door Schedule													
Door #	Door Size		Door		Frame		Fire Rating	Hardware					Comments
	Type	Height	Width	Material	Finish	Frame Material		Finish	Lockset	Closer	Gaskets	Accessories	
100		7'- 0"	3'- 0"	Existing	Existing	Existing	Existing	--	Panic Hardware	Yes	Weather	Auto Door Opener (ANSI/BHMA A156.10)	Reverse swing of existing exterior door
101		6'- 4"	2'- 8"	Wood	Paint	H.M.	Paint	--	Storeroom	No	--		
102		6'- 8"	3'- 0"	Wood	Stain	H.M.	Stain	--	Push/Pull	Yes	--		
103		6'- 8"	3'- 0"	Wood	Stain	H.M.	Stain	--	Push/Pull	Yes	--		
104		7'- 0"	6'- 0"	Steel	Paint	H.M.	Paint	--	Panic Hardware	Yes	Weather	Hold-open	Insulated steel double door
104A		6'- 8"	3'- 0"	Wood	Pain	H.M.	Paint	--	Panic Hardware	Yes	--		Kick plates, both sides.
104B		6'- 8"	3'- 2"	Insul Alnum	Factory	n/a	n/a	--	Passage	Yes	Weather		W/C door by WIC company
106		6'- 8"	3'- 0"	Steel	Paint	H.M.	Paint	--	Storeroom	No	--		
201		7'- 0"	3'- 0"	Steel	Paint	H.M.	Paint	120-minute	Entry	Yes	Weather		Insulated steel door
201		6'- 8"	3'- 0"	Wood Veneer	Stain	H.M.	Paint	120-minute	Entry	Yes	Smoke		Mineral core
301		6'- 8"	3'- 0"	Wood Veneer	Stain	H.M.	Paint	120-minute	Passage	Yes	Smoke		Mineral core
302		6'- 8"	3'- 0"	Steel	Paint	H.M.	Paint	--	Entry	Yes	Weather		
302B		6'- 8"	4'- 6"	Wood	Stain	Wood	Stain	--	Passage	No	--		Double door
303		6'- 8"	2'- 8"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
303A		6'- 8"	4'- 6"	Wood	Stain	Wood	Stain	--	Passage	No	--		Double door
304		6'- 8"	2'- 4"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
305		6'- 8"	2'- 8"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
305A		6'- 8"	4'- 6"	Wood	Stain	Wood	Stain	--	Passage	No	--		Double door
305B		6'- 8"	2'- 0"	Wood	Stain	Wood	Stain	--	Passage	No	--		
306		6'- 8"	3'- 0"	Wood Veneer	Stain	H.M.	Paint	120-minute	Entry	Yes	Smoke		Double Door
306B		6'- 8"	4'- 0"	Wood	Stain	Wood	Stain	--	Passage	No	--		Double door
307A		7'- 0"	2'- 8"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
307B		7'- 0"	4'- 0"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
308		6'- 8"	2'- 4"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
309		7'- 0"	2'- 8"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
310		6'- 8"	2'- 8"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
400		6'- 8"	3'- 0"	Wood Veneer	Stain	H.M.	Paint	120-minute	Passage	Yes	Smoke		Mineral core
401		7'- 0"	3'- 0"	Steel	Paint	H.M.	Paint	120-minute	Entry	Yes	Weather		Insulated steel door
401A		6'- 8"	4'- 0"	Wood Veneer	Stain	H.M.	Paint	120-minute	Storeroom	Yes	Smoke		Double door, mineral core
401B		6'- 8"	4'- 0"	Wood Veneer	Stain	H.M.	Paint	120-minute	Storeroom	Yes	Smoke		Double door, mineral core
402		6'- 8"	2'- 8"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
402A		7'- 0"	2'- 0"	Wood	Stain	Wood	Stain	--	Passage	No	--		Pocket Door
403		6'- 8"	2'- 6"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
404		6'- 8"	3'- 0"	Wood Veneer	Stain	H.M.	Paint	120-minute	Entry	Yes	Smoke		Mineral core
404A		6'- 8"	2'- 8"	Wood	Stain	Wood	Stain	--	Passage	No	--		
405		6'- 8"	2'- 8"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
405A		7'- 0"	2'- 8"	Wood	Stain	Wood	Stain	--	Passage	No	--		Pocket Door
407		6'- 8"	3'- 0"	Wood Veneer	Stain	H.M.	Paint	120-minute	Entry	Yes	Smoke		
407B		6'- 8"	2'- 4"	Wood	Stain	Wood	Stain	--	Passage	No	--		
407C		6'- 8"	5'- 0"	Wood	Stain	Wood	Stain	--	Passage	No	--		Double door
408		6'- 8"	2'- 4"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
409		6'- 8"	2'- 8"	Wood	Stain	Wood	Stain	--	Privacy	No	--		
409A		6'- 8"	5'- 0"	Wood	Stain	Wood	Stain	--	Passage	No	--		Double door

General Door and Frame Notes:

1.

All doors in commercial spaces shall meet ADA requirements.
2.

All exit doors shall be operable from the inside without the use of a key or any special knowledge or effort.
3.

Door hardware shall be operable with a single effort without requiring the ability to grasp the hardware (lever type).
4.

All door thresholds shall not exceed 1/2" in height AFF with a 1:2 max bevel slope where threshold exceeds 1/4" in height.
5.

The maximum effort to operate exit or interior doors is 5 lbs.
6.

All hand-activated hardware to be mounted between 30" and 44" AFF.
7.

The lower 1" of the door shall be a smooth and plane surface (no recess or trap).
8.

Door undercuts, where noted, shall be 1" (typ.).
9.

Verify frame depths w/ wall thickness. Provide wrap-around frames at stud walls.
10.

All egress doors with locks and/or latches shall have a decal placed along the door frame above the door in 1" black letters that reads: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."
11.

Vision lite glazing to be tempered unless otherwise noted.
12.

Door assembly to be fire-rated appropriately according to fire-rating of adjacent partition construction Notify architect if additional fire-rating is required.
13.

Door closers shall be adjusted so that the sweep period from an open position of 70 degrees takes the door at least 3 seconds to move to a point 3 inches from the latch, measured to the landing edge of the door.
14.

Provide sealant at both sides of door frames, where different materials meet and for weather tightness.
15.

General Contractor to verify size of all equipment (electrical, mechanical, kitchen, laundry, etc.) selected for the project to determine that all doors (including path of travel) are of adequate size to accommodate installation and replacement.
16.

Install fiberglass insulation in all exterior hollow metal door frames.
17.

Verify all rough opening requirements with manufacturer's drawings.
18.

Door, frame, and hardware schedule to be provided by hardware supplier for A/E review - numbering system and nomenclature shall match those found in construction documents.
19.

Hardware supplier is responsible for coordinating keying requirements with owner.
20.

Aluminum supplier shall furnace and install all hardware for aluminum doors as noted on plans - the same manufacturers and models shall be used for both aluminum and other door hardware.
21.

Contractor to provide products and systems complete with all accessories, trim, finish, fasteners and other items needed for a complete installation and intend use and effect.

Fenestration Prescriptive Energy Requirements:

1.

Fenestration requirements based on IECC
2.

Section 502.3 and Table 502.3.
3.

Vertical fenestration shall not exceed more than 40% of above-grade wall.
4.

Skylights shall not exceed 3% of the gross roof area.
5.

Non-metal fenestration frames may not contain metal cladding or metal reinforcement for the purposes determining the corresponding U-factor.

IECC Fenestration Requirements	
Fenestration Category	Climate Zone
	5
Fixed Fenestration	0.38
Operable Fenestration	0.45
Entrance Doors	0.77
U-Factor: Skylights	0.50
SHGC: Skylights	0.40
SHGC: Projection Factor < 0.2	SEW: 0.38 / N: 0.51
SHGC: 0.2 ≤ Projection Factor < 0.5	SEW: 0.46 / N: 0.66
SHGC: Projection Factor ≥ 0.5	SEW: 0.61 / N: 0.61

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Renovation

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Pittsburgh, PA 15222

Construction Documents

Description	No.	Date

Date09.09.2025
Hart Arch Project No.2501.090

Door & Window
Schedules

A8.5

REGISTERED ARCHITECT
PENNSYLVANIA
HART ARCHITECTS
09.09.2025



HART

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