

**4. BDA-2025-09973**

1442 Nixon Street

Manchester Historic District

Manchester Neighborhood

**Building renovations to include reconstruction  
of damaged rear elevation**

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604 Glengary Drive  
Pittsburgh, PA  
15215

# Thomas O. Gray, AIA. LLC

Sharon Spooner  
Senior Planner (Historic Preservation)  
Public Realm Division  
City of Pittsburgh, Department of City Planning

December 23, 2025

RE: 1442 Nixon Street- appropriateness

Dear Sharon:

The subject property is a townhouse in the middle of a group of three. As viewed from Nixon Street the left side house # 1440 is brick loadbearing masonry virtually identical to 1442. 1440 Nixon has seen many ill-advised alterations and does not establish any significant role model for 1442.

On the right side is # 1444. This home is wood frame and of a more Victorian style. This one has been partially renovated and sits back a good 12 feet from the street compared with the two brick units. 1444 does not have much in the way of context to identify with 1442.

The subject property has also seen some unfortunate alterations. Primarily, the box gutter and bracketing was all removed in favor of an aluminum gutter. There exist nice wooden window heads and a door surround and we fully intend to make proper repairs of these features. The brick in front has been painted, and therefore is not suitable for bringing back to the original state. We intend to do minor repointing above the top windows and repaint. Colors have not yet been chosen. We plan to use Anderson 100 Series windows, 2 over 2 style with simulated divided lights.

There is a single gable style (doghouse) style dormer in the center. This dormer is only 42 inch wide and is in serious disrepair. A dormer of the size provides no useful space on the third floor. We are proposing a 10 foot wide dormer the design of which is depicted on the drawings. It will be executed in a combination of LP smart side and PVC trim to be fully painted. No brake metal cheapness.

In the rear the situation is very different. Up until August 2025 there was a two story brick addition in the rear. This addition fell down on its own in August and it was very fortunate that nobody was hurt. At the time of collapse we were still awaiting approval for emergency demolition. The site has been cleared and the resulting gaps and former connection are visible today. The rear elevation is unpainted brick, which is in desperate need of pointing and repairs. The windows do not have any historic trim or other notable features. We intend to replace the windows in the existing openings with two over two sash as depicted in the drawings.

We plan to open up the 3<sup>rd</sup> floor with a shed dormer with simple detailing.

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*December 24, 2025*

*Page 2*

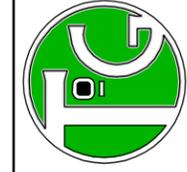
In terms of context, the rear of the two adjacent properties are worse than their fronts. Please see photos, the bar is very low. Our project will be far and away better than what currently exists left and right.

Respectfully,

A handwritten signature in black ink, appearing to read 'Tom Gray', with a long, sweeping horizontal stroke extending to the right.

Thomas O. Gray, AIA, LEED AP, Masters of Architecture University of Maryland, 1993, Historic Preservation Certificate, U of M Historic Preservation Program, 1993





ELEVATIONS  
 REVISION #1 11-10-25 SEPTEMBER 24, 2025  
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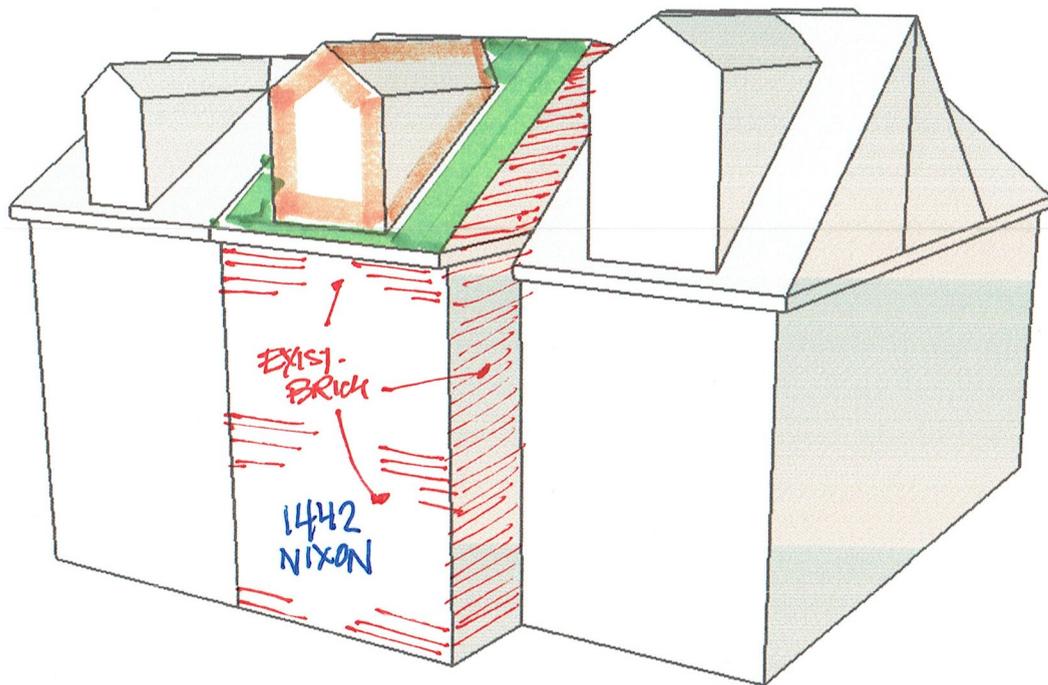
**RESIDENCE**  
 1442 NIXON STREET, PITTSBURGH, PA 15233

**A.10**



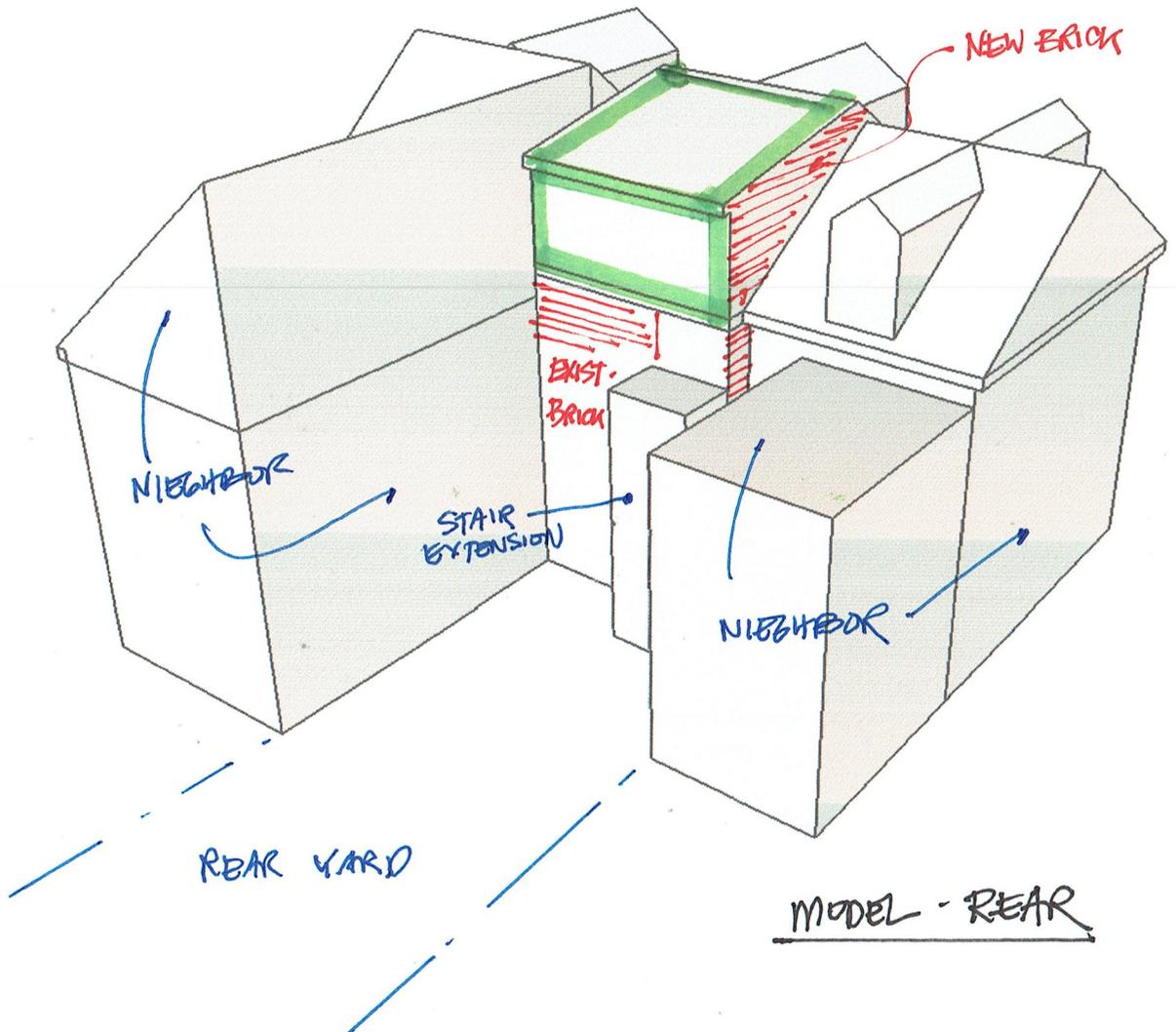
**FRONT ELEVATION**  
 SCALE: 3/16"=1'-0"

ORANGE = NEW DORMER  
GREEN = NEW ROOF STRUCTURE



MODEL - FRONT →

GREEN = NEW SHED DOORMER



NEW BRICK

EXIST. BRICK

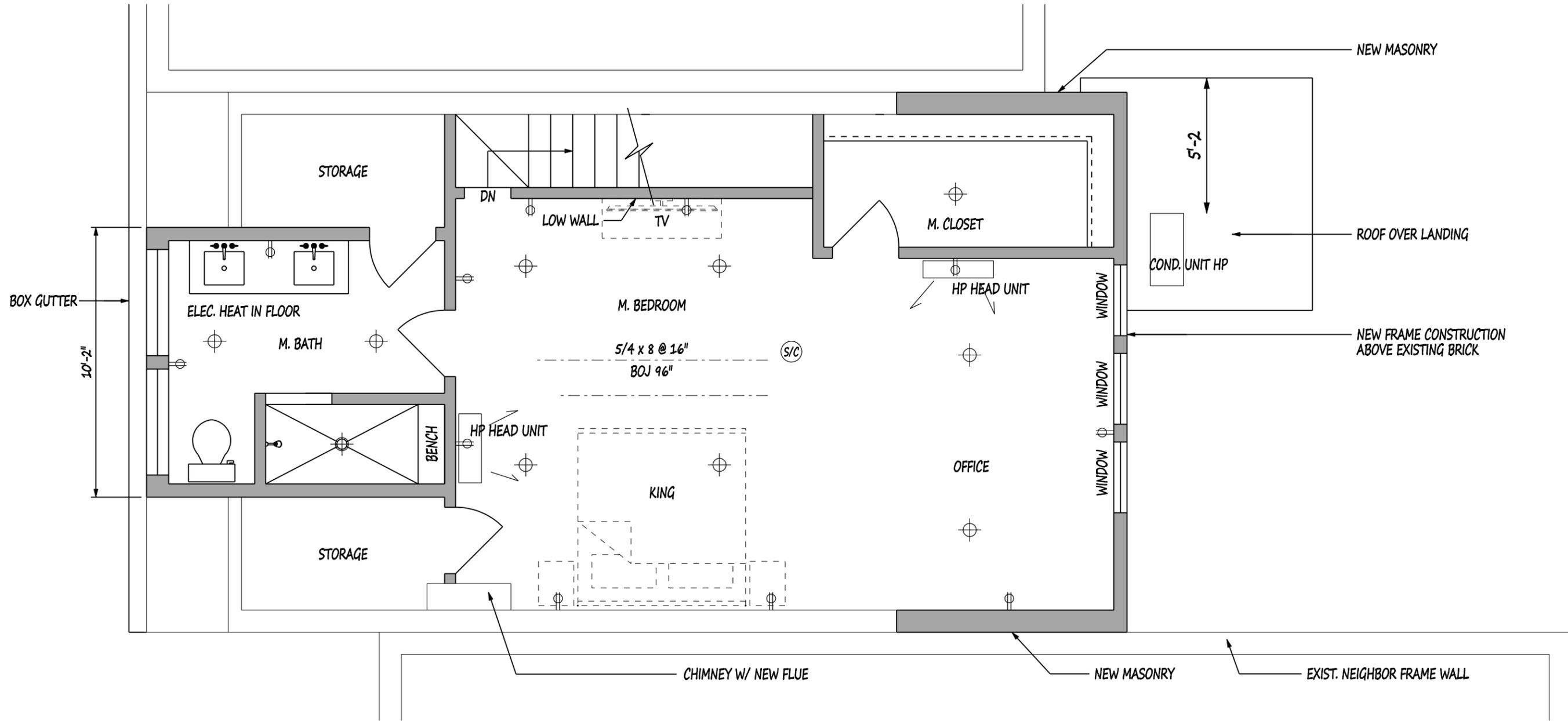
NEIGHBOR

STAIR EXPANSION

NEIGHBOR

REAR YARD

MODEL - REAR



**ATTIC FLOOR PLAN**

SCALE: 1/4"=1'-0" 693 SF (EXT. PERIMETER)



**FLOOR PLAN**  
 SEPTEMBER 24, 2025  
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**RESIDENCE**  
 1442 NIXON STREET, PITTSBURGH, PA 15233

**A.4**



















Dormer left bottom



Dormer left



Dormer right



Dormer width inside 38



Far Left 9



Mid-right 3.5



Far-right 8.5



Mid-left 4



Neighbor dormer and gutters



Ridge droop



String line



1444 Nixon double dormer



Double dormers



Double dormers



Newer double dormers Nixon



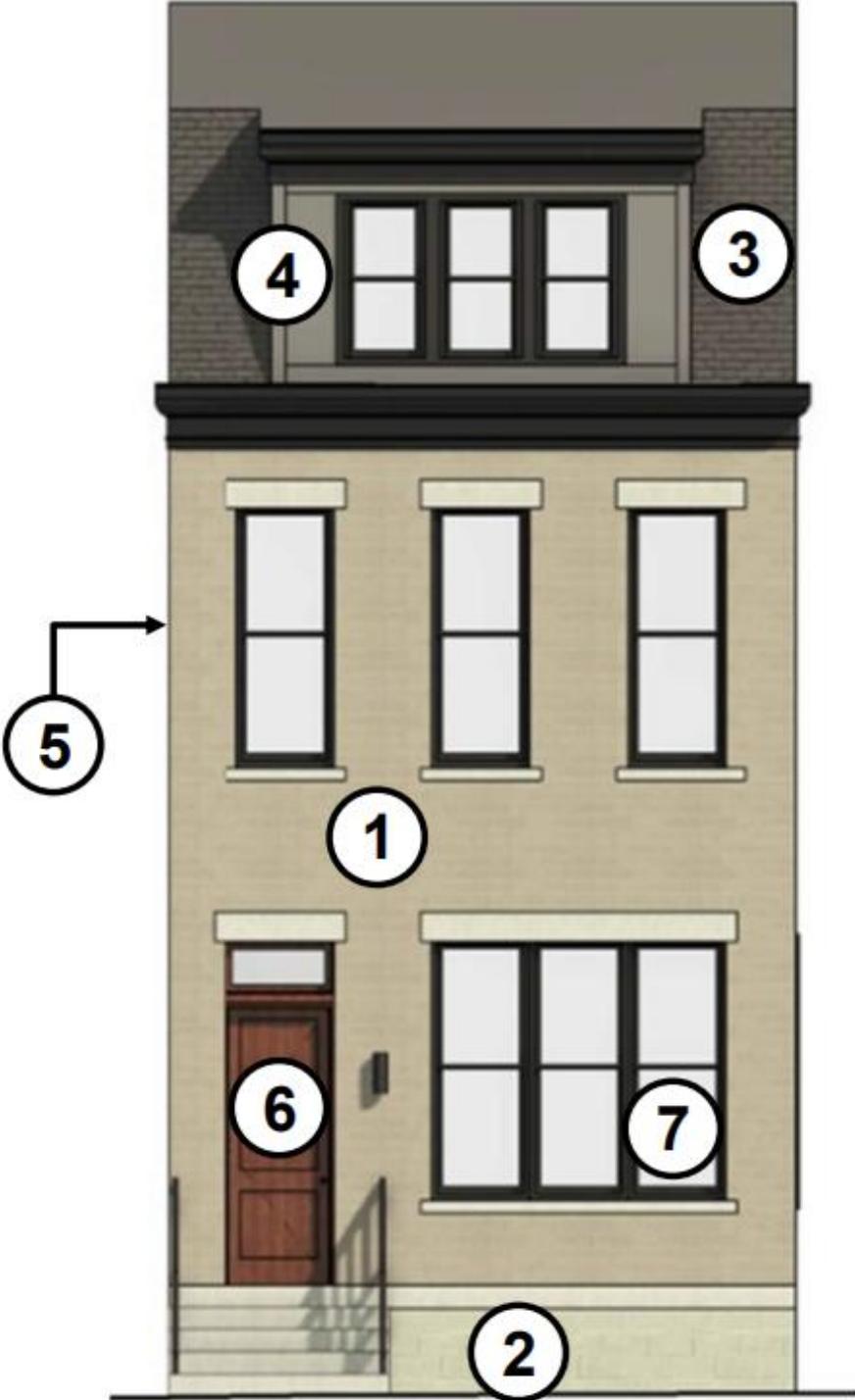
Four wide dormer



Newer double dormers



New construction – wide dormer



Across street Nixon



Across Nixon



Context Nixon



Abandoned house Nixon



Context – blight, dormer saved



Context



Context - blight

