



Historic Review Commission  
Proposed Window Replacements  
1529 Sedgwick Street, Pittsburgh, PA 15233  
August 5, 2026





## Presentation Agenda

- Redevelopment Background & Context
- Location & Existing Conditions
- Scope of Work
- Window Rendering
- Cost Comparisons
- Questions & Answer

## Redevelopment Context

**Tax Credit Investor  
Site Visit  
Location Map  
Manchester Redevelopment Properties**

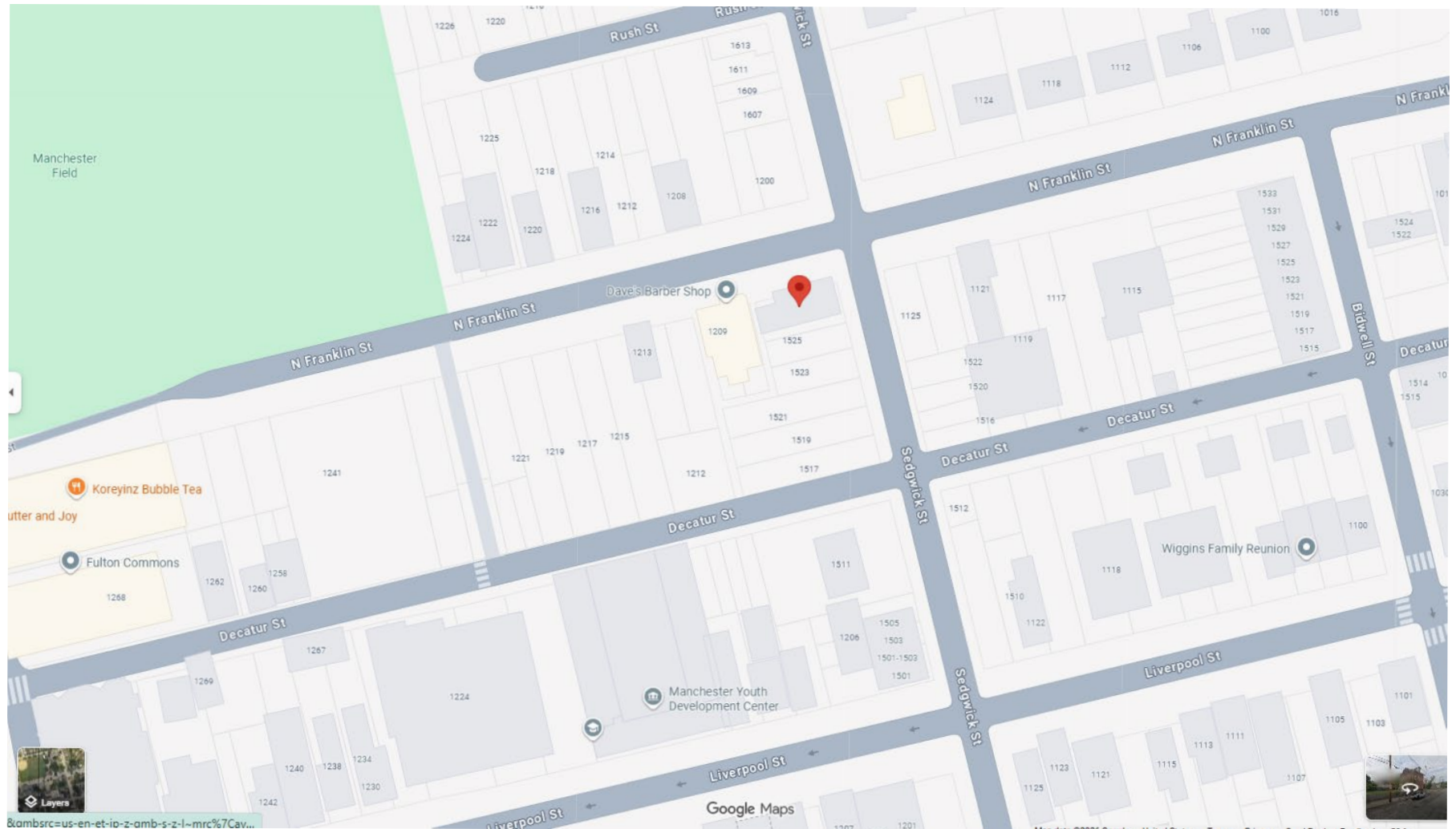


 Manchester Redevelopment Units



**Location  
(Site Maps)**

**Google Map**  
**1529 Sedgwick Street**  
**Pittsburgh, PA 15233**



Google Map  
(Satellite View)  
1529 Sedgwick Street  
Pittsburgh, PA 15233



## Existing Conditions

## Existing Conditions



## Existing Conditions



## Existing Conditions



## Existing Conditions



## Existing Conditions



**Scope of Work**

**Site Elevations**  
**1529 Sedgwick**  
**Pittsburgh, PA 15233**

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

REVISED TO INCORPORATE:  
PHFA MEP Comments dated May 15, 2023 PHFA Architecture  
Review Comments Dated May 30, 2024

ISSUE FOR PERMIT

REVISED TO SHOW DUCTWORK 07.10.2023

REVISED 08/03/2023

PHFA No. TC2021-154

Owner:

HACP  
200 ROSS STREET  
PITTSBURGH, PA 15219

Project Location:

MANCHESTER SCATTERED SITES  
1529 SEDGWICK STREET  
PITTSBURGH, PENNSYLVANIA  
15233

WEST ELEVATION, NORTH  
ELEVATION, EAST ELEVATION,  
SOUTH ELEVATION, ROOF AND  
SITE KEYNOTES

scale  
As Noted

date

June 2, 2023

no. of.

15 22

Sheet No.

A14

Project #2006

HISTORIC KEYNOTES:

- H1 MAINTAIN AS-IS OR APPLY COMPATIBLE FINISH TO PROTECT WORN SURFACES OF WOOD. STRIPPING/REFINISHING IS NOT RECOMMENDED. REPAINTING, IF REQUIRED TO FOLLOW NPS (NATIONAL PARK SERVICE) PRESERVATION BRIEF. SEE SPECIFICATIONS 10
- H2 ENSURE ROOF DRAINAGE IS FUNCTIONAL. REPAIR ALL DAMAGED WOOD IN THIS AREA USING SIMILAR WOOD SPECIES AND PROFILES TO EXISTING. EXCESSIVELY DETERIORATED WOOD IS TO BE REMOVED AND REPLACED WITH NEW KILN DRIED ALL CLEAR WOOD WITH A PAINTED FINISH TO MATCH THE EXISTING. HAND SCRAPE AND REPAINT PEELING OR BLISTERED PAINT AS PER NPS PRESERVATION BRIEF 10 (SEE SPECIFICATIONS). FOR DECORATIVE ELEMENTS THAT ARE DETERIORATED BEYOND REPAIR, USE EXISTING INTACT SIMILAR ELEMENTS TO RECREATE MISSING ELEMENTS IN WOOD, RETAINING AS MUCH OF THE ORIGINAL MATERIAL AS POSSIBLE. NOTE: IN AREAS THAT ARE NOT PROMINENT OR READILY VIEWED, GC MAY USE SYNTHETIC PAINTABLE TRIM, PAINTED TO MATCH THE ORIGINAL FEATURE. SEE SPECIFICATIONS FOR PAINTING AND ACCEPTABLE TRIM MATERIAL
- H3 IN THIS AREA, INVESTIGATE THE CAUSE OF BRICK DISPLACEMENT. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, FIX DISPLACED UNITS IN PLACE, BY REPOINTING MORTAR JOINTS USING A COMPATIBLE MORTAR AND TECHNIQUE FOLLOWING NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS). DO NOT SEAL OR COAT BRICK OR TERRA COTTA OR STONE. ENSURE THAT ROOF DRAINAGE, GUTTERS AND FLASHING ARE DIRECTING WATER AWAY FROM THE WALL MATERIALS.
- H4 INVESTIGATE CAUSE OF DISPLACEMENT OF CORNICE BRACKET. IF NO FURTHER MOVEMENT OR STRUCTURAL ISSUES ARE EVIDENT, CAREFULLY ROTATE BRACKET INTO ORIGINAL POSITION. IF BRACKET CANNOT BE ROTATED WITHOUT DAMAGE, MAINTAIN BRACKET AS IS. REPAINTING AND CAULK TO CONFORM TO NPS: PRESERVATION BRIEF 10 (SEE PAINT SPECIFICATION).
- H5 CRACK PATTERN INDICATES SETTLEMENT OF THE WINDOW LINTEL. IF CRACK APPEARS TO HAVE STABILIZED, REPOINT THE LINTEL WITH COMPATIBLE MORTAR FOLLOWING PROCEDURES IN NPS PRESERVATION BRIEF 2 (SEE SPECIFICATIONS).
- H6 RESOLVE WATER INFILTRATION ISSUES FROM ABOVE THIS AREA. CONDUCT INVESTIGATION REGARDING PROPOSED RESOLUTION BEFORE PROCEEDING. ONCE WATER INFILTRATION ISSUES ARE ADDRESSED, REPOINT LOST OR WEAK MORTAR JOINTS USING A COMPATIBLE MORTAR. TEST PANELS REQUIRED TO ASSURE COLOR MATCH AND TOOLING OF JOINTS. CLEAN AREAS OF SOIL OR STAINING USING THE GENTLEST METHODS DETAILED IN NPS PRESERVATION BRIEF 2. DO NOT SEAL OR COAT BRICK. (SEE SPECIFICATIONS)
- H7 REPAIR SLATE ROOF USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW SLATE PIECES TO THE ORIGINAL COLOR AND TEXTURE. (SEE SPECIFICATIONS)
- H8 REPAIR ALL DAMAGE TO ROOF AND ROOF DRAINAGE SYSTEM USING TRADITIONAL MATERIALS AND METHODS, RETAINING AS MUCH ORIGINAL MATERIAL AS POSSIBLE. MATCH ANY NEW MATERIAL TO THE ORIGINAL COLOR AND TEXTURE. RETAIN ALL ROOF FEATURES INCLUDING DORMERS, CHIMNEYS AND OTHER ELEMENTS.
- H9 ITEM SHOWN IS A NON-HISTORIC WINDOW. REMOVE AND REPLACE THE NON-HISTORIC WINDOWS INDICATED INCLUDING FRAME AND FLASHING WITH NEW WINDOW UNITS MATCHING THE EXISTING PER SPECIFICATIONS. **NOT USED IN THIS SET**
- H10 IN THESE LOCATIONS PRESERVE EXISTING WOOD WINDOW USING NPS PRESERVATION BRIEF 9 (SEE SPECIFICATIONS).
- H11 IN THIS LOCATION, ALLOW WOOD TO DRY AND REPAIR THE EXISTING BALUSTER MATERIAL. SCRAPE AND REPAINT. PRESERVE EXISTING. PRESERVATION BRIEF 10. REPAIR OR REPLACE DETERIORATED ROOF FASCIA BOARDS PER NOTE H2 ABOVE. NOTE TO OWNER: DUE TO DESIGN OF FRONT CORNER AND EXPOSURE TO WEATHER, REGULAR RECOATING MAY BE REQUIRED TO PROTECT WOOD FROM FURTHER DETERIORATION
- H12 IN THIS AREA CLEAN AND PREP THE EXISTING METAL FEATURES TO RECEIVE A NEW PAINT FINISH. CLEAN WITH THE APPROPRIATE METHOD (SEE SPECIFICATIONS). IF EXISTING PRESERVED BY THE GENTLEST METHOD POSSIBLE. DO NOT USE CLEANING METHODS WHICH ALTER THE COLOR, TEXTURE, AND TONE OF THE METAL. REPAINT METAL FEATURES PER PAINT SPECIFICATIONS).
- H13 AT THIS LOCATION, REPAIR WOOD TRIM. PROVIDE NEW ANODIZED ALUMINUM FLASHING TO DIRECT WATER AWAY FROM BUILDING. (SEE SPECIFICATIONS)
- H14 AT THIS ROOF LOCATION, REMOVE AND DISPOSE OF LEAKY ROOF FLASHING. REPAIR DAMAGED FLASHING FROM PULLED BRICK. REPAIR DAMAGED FLASHING USING TECHNIQUES FOR MATERIAL OR FEATURE INDICATED ABOVE.
- H15 AT THIS CHIMNEY, PROVIDE NEW LOW PROFILE ANODIZED ALUMINUM CHIMNEY CAP, SLOPED TO DRAIN. (SEE SPECIFICATIONS)

ROOF KEYNOTES:

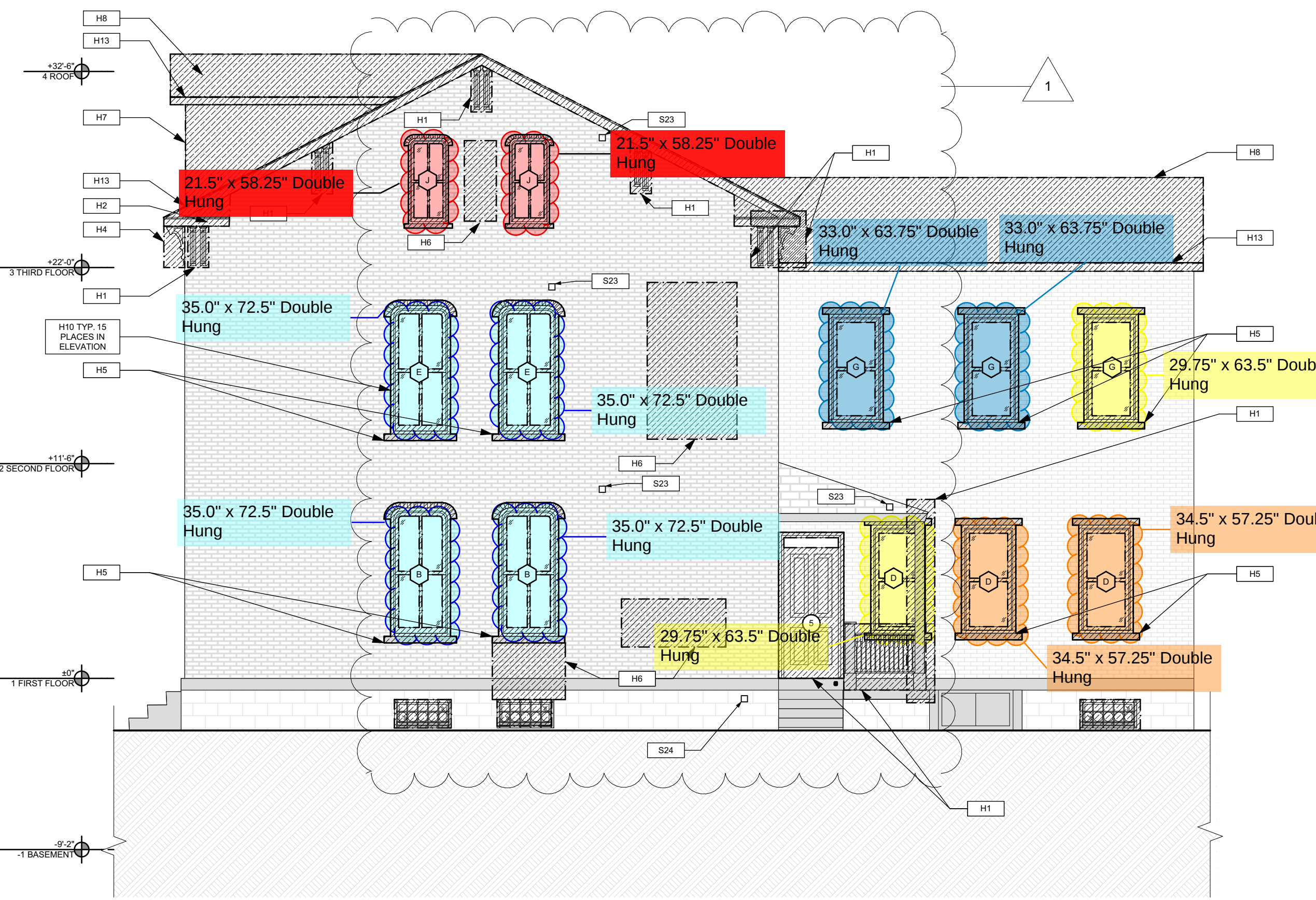
- R1 REPAIR DAMAGED ROOF ELEMENT IN THIS APPROXIMATE LOCATION. REPAIR WITH NEW MATERIAL TO RECREATE WEATHERED APPEARANCE. REPAIR TO INCLUDE FLASHING, VENTS, CRICKETS, ETC. SEE SPECIFICATIONS SECTION 070150. **NOT USED IN THIS SET**
- R2 REPLACE ROOF FLASHING. REPAIR OR REPLACE ROOF TAPE, SPLASH, AND DRAIN LEADERS. **NOT USED IN THIS SET**
- R3 REPLACE ROOF FLASHING. REPAIR OR REPLACE ROOF TAPE, SPLASH, AND DRAIN LEADERS. SEE SPECIFICATIONS SECTION 074293. **NOT USED IN THIS SET**
- R4 ALL EXISTING ROOF CLADDING, MEMBRANE AND SHEATHING, AND ASSOCIATED FLASHING, TO BE REMOVED DOWN TO THE ROOF DECK. A WEATHERTIGHT ROOFING SYSTEM TO BE INSTALLED PER SPECIFICATIONS SECTION 073113. **NOT USED IN THIS SET**

SITE KEYNOTES:

- S1 AT THIS LOCATION, PROVIDE ONE OF THE FOLLOWING:  
WITH SOIL, PROVIDE CLAY CAP, AND REPLACE TOPSOIL TO CREATE POSITIVE SLOPE AWAY FROM THE EXTERIOR WALL OF HOUSE. REPLACE DISTURBED VEGETATION PER SPECIFICATIONS SECTION 322200.  
WITH CONCRETE: REMOVE EXISTING BRICK PAVERS AND REMOVE ENOUGH SUBGRADE TO ALLOW FOR NEW 3" CLAY CAP SLOPED AWAY FROM EXTERIOR OF HOUSE, WITH SAND SETTING BED, PAVE WITH NEW BRICK PAVERS TO MEET SLOPE REQUIREMENTS WHERE BRICK IS PRESENT. REPLACE ANY INCIDENTAL SOIL DISTURBED WITH TOPSOIL TO RESTORE GRADE. MINIMUM 3" OVER 5'-0".  
WITH BRICK PAVERS: REMOVE EXISTING BRICK PAVERS AND REMOVE ENOUGH SUBGRADE TO ALLOW FOR NEW 3" CLAY CAP SLOPED AWAY FROM EXTERIOR OF HOUSE, WITH SAND SETTING BED, PAVE WITH NEW BRICK PAVERS TO MEET SLOPE REQUIREMENTS WHERE BRICK IS PRESENT. REPLACE ANY INCIDENTAL SOIL DISTURBED WITH TOPSOIL TO RESTORE GRADE. MINIMUM 3" OVER 5'-0".
- S2 AT THIS APPROXIMATE LOCATION THERE IS UNEVEN LEVEL OF CONCRETE AND WALKWAY. PROVIDE NEW CONCRETE TO RESTORE LEVEL AT SIDEWALK OR STEPS. PREPARE SURFACE AND INSTALL EPOXY CONCRETE PER SPECIFICATIONS SECTION 030130. **NOT USED IN THIS SET**
- S3 TEMPORARILY SHORE EXISTING PORCH AND REMOVE OUT OF PLUMB SUPPORT POST. PROVIDE NEW PRESSURE TREATED POST WITH HOT DIPPED GALVANIZED FASTENERS TO RESTORE PORCH. **NOT USED IN THIS SET**
- S4 EXISTING PARKING PAD TO BE DEMOLISHED AND RE-POURED. **NOT USED IN THIS SET**
- S5 POUR NEW EPOXY CONCRETE PATCH WHERE CONCRETE STEP IS CHIPPED. PREPARE SURFACE AND INSTALL EPOXY CONCRETE PER SPECIFICATIONS SECTION 030130. **NOT USED IN THIS SET**
- S6 POTENTIAL LOOSE VALVES ON GAS METER AND GAS LINE. TEST FOR GAS LEAKS. REPAIR OR REPLACE AS REQUIRED. OR ARRANGE FOR REPLACEMENT WITH CITY OF PITTSBURGH APPROVED GAS METER. **NOT USED IN THIS SET**
- S7 POUR NEW EPOXY CONCRETE PATCH WHERE CONCRETE STEP IS CHIPPED. PREPARE SURFACE AND INSTALL EPOXY CONCRETE PER SPECIFICATIONS SECTION 030130. **NOT USED IN THIS SET**
- S8 TRIM EXISTING ROOF FLASHING. REPAIR OR REPLACE ROOF TAPE, SPLASH, AND DRAIN LEADERS. **NOT USED IN THIS SET**
- S9 ROTTING ROOF FLASHING. REPAIR OR REPLACE ROOF TAPE, SPLASH, AND DRAIN LEADERS. **NOT USED IN THIS SET**
- S10 REGROUT AND POINT MASONRY WITHIN THIS AREA SHOWN. REGROUT COLOR TO MATCH GROUT AT ADJACENT BLOCK. PREPARE SURFACE BY CLEANING AND REMOVING LOOSE CONCRETE AND PROVIDE NEW EPOXY PATCHING AT EXT. CONC. SEE SPECIFICATIONS.
- S11 REMOVE EXISTING VEGETATIVE GROWTH AND DEBRIS FROM EXISTING WINDOW WELL. DIG DOWN BELOW WINDOW SILL 4". PROVIDE 3" GRAVEL BASE OVER WEED BARRIER. PROVIDE NEW WINDOW WELL AND COVER.
- S12 REPAIR AND ORGANIZE ELECTRICAL WIRES IN THIS LOCATION PER SPECIFICATIONS SECTIONS 260526 AND 260529. WHERE ELECTRICAL WIRES ARE EXPOSED, REPAIR AND RELOCATE SERVICE DROP TO PROVIDE A CLEAR HEIGHT OF 12'-0" MIN.
- S13 REMOVE OVERGROWN VEGETATION, BEE OR BIRD'S NEST, CLEAN AND REPAIR EXISTING ROOF FLASHING. REPAIR OR REPLACE ROOF FLASHING. REPAIR OR REPLACE ROOF TAPE, SPLASH, AND DRAIN LEADERS. **NOT USED IN THIS SET**
- S14 REMOVE OVERGROWN VEGETATION FROM AROUND OUTDOOR A.C. UNIT LOCATION.
- S15 REMOVE AND REPLACE ALL CONCRETE 12"x12" PATIO STEPPING STONES. REPAIR OR REPLACE AS REQUIRED. **NOT USED IN THIS SET**
- S16 BOWING EXTERIOR WALL OR RETAINING WALL - REMOVE SOIL AS NEEDED. REPAIR OR REPLACE EXTERIOR WALL BACK TO PLUMB CONDITIONS. REPLACE REMOVED SOIL WITH GRAVEL FOR DRAINAGE AND SOIL CAP.
- S17 REPLACE EXISTING ROOF FLASHING. REPAIR OR REPLACE ROOF TAPE, SPLASH, AND DRAIN LEADERS. **NOT USED IN THIS SET**
- S18 REPLACE METAL EXTERIOR RAILINGS / GATE AT THIS LOCATION PER SPECIFICATIONS SECTION 055213.
- S19 ALL WOOD FENCES, GATES AND POSTS TO BE REMOVED. NEW WOOD FENCE GATES AND POSTS TO BE INSTALLED PER SPECIFICATIONS SECTION 064015.
- S20 SEAL BUILDINGS FOUNDATION WALL AND SIDEWALK PER SPECIFICATIONS SECTION 030130.
- S21 REPLACE ALL EXTERIOR VINYL SIDING, EXTERIOR TRIM, FLASHING, AND ROOF FLASHING. REPAIR OR REPLACE AS REQUIRED. **NOT USED IN THIS SET**
- S22 REMOVE EXISTING ROOF FLASHING. REPAIR OR REPLACE ROOF TAPE, SPLASH, AND DRAIN LEADERS. **NOT USED IN THIS SET**
- S23 ROOF OR WALL CAP, MUST TERMINATE MIN. 3 FT FROM OPERABLE PORTION OF WINDOW. FIELD COORDINATE ROUTING.
- S24 CONCENTRIC VENT FOR COMBUSTION AIR INTAKE/EXHAUST, MUST TERMINATE MIN. 10 FT FROM PROPERTY LINE. FIELD COORDINATE ROUTING.

GENERAL NOTE:

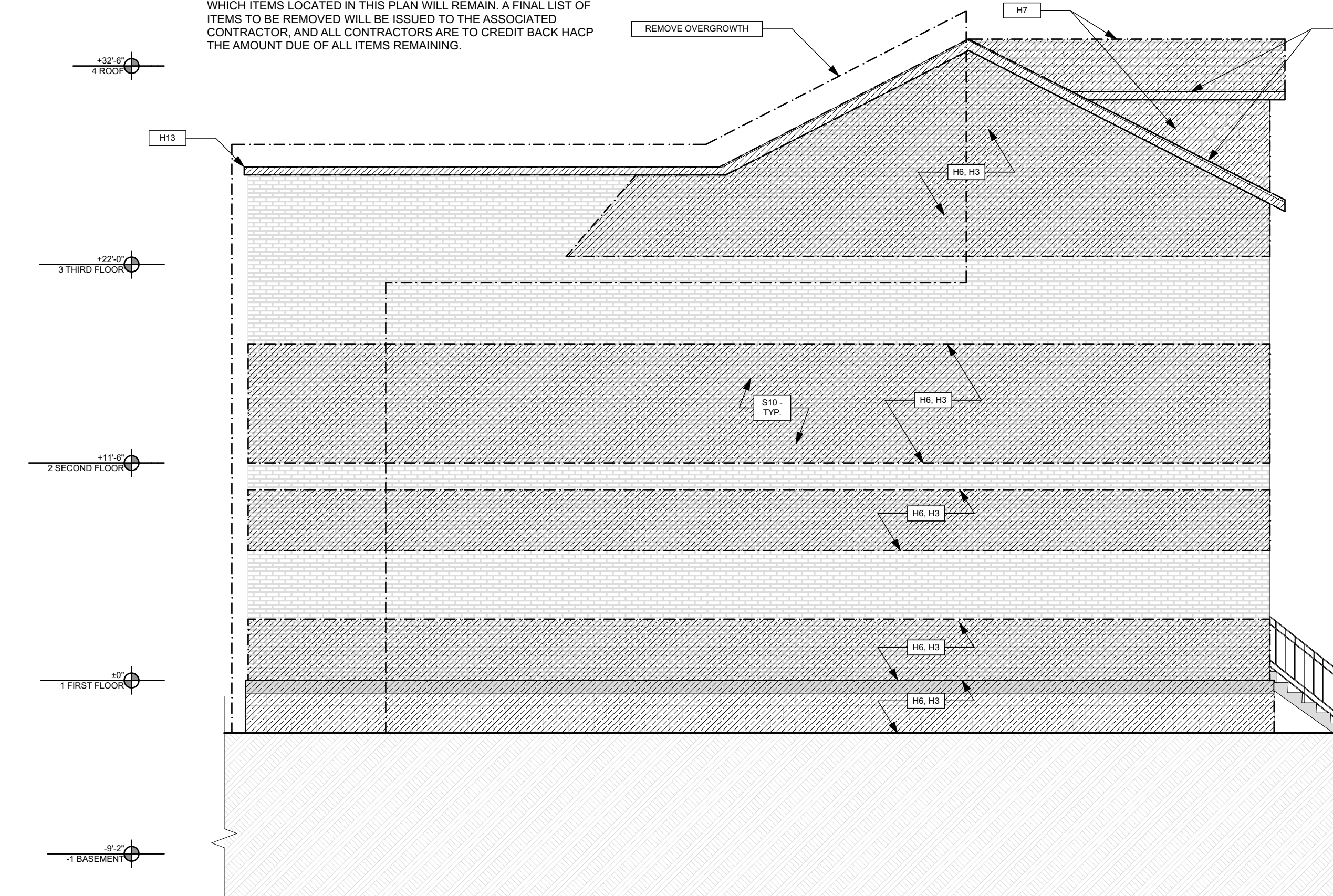
SEE SHEET A-2 FOR GENERAL HISTORIC PRESERVATION NOTES.



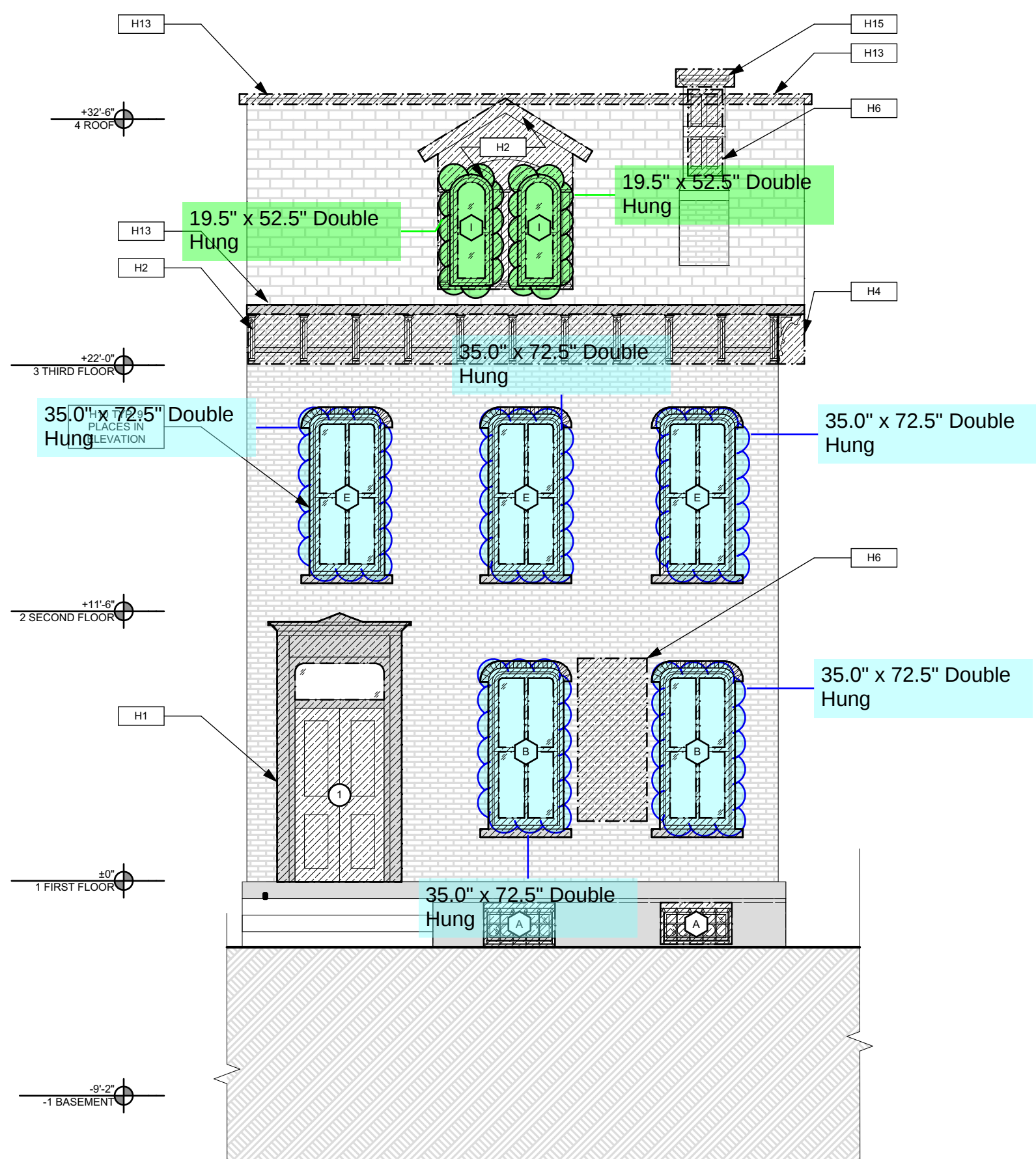
1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

SCOPE NOTE:

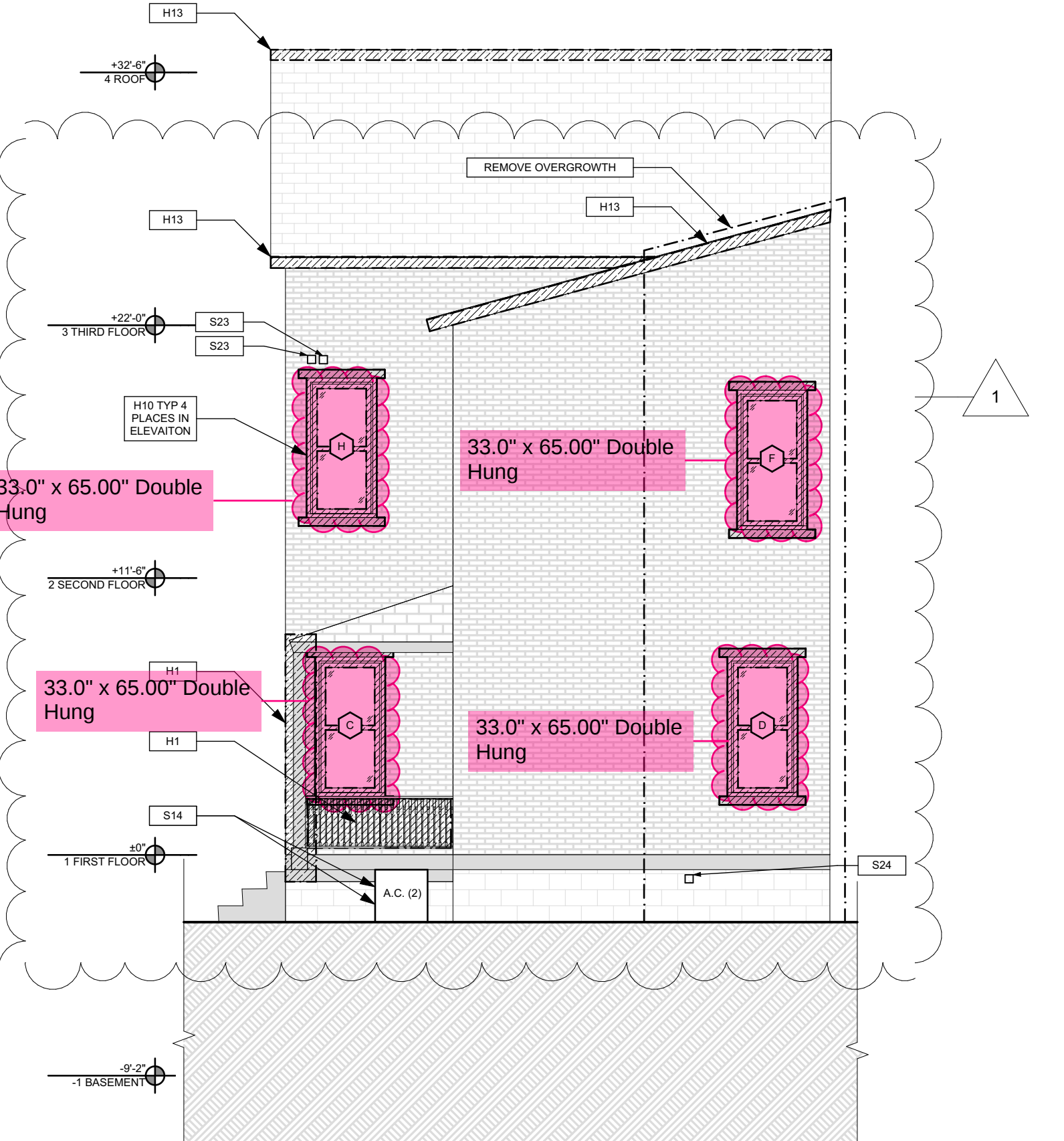
AT THE TIME OF CONSTRUCTION, HACP, THE CONSTRUCTION MANAGER, THE ARCHITECT, AND/OR ANY APPLICABLE CONSULTANTS SHALL CONDUCT A WALKTHROUGH OF THE PROPERTY TO DETERMINE WHICH ITEMS LOCATED IN THIS PLAN WILL REMAIN. A FINAL LIST OF ITEMS TO BE REMOVED WILL BE ISSUED TO THE ASSOCIATED CONTRACTOR, AND ALL CONTRACTORS ARE TO CREDIT BACK HACP THE AMOUNT DUE OF ALL ITEMS REMAINING.



3 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

**Pella Window Specifications Sheet**  
**1529 Sedgwick**  
**Pittsburgh, PA 15233**

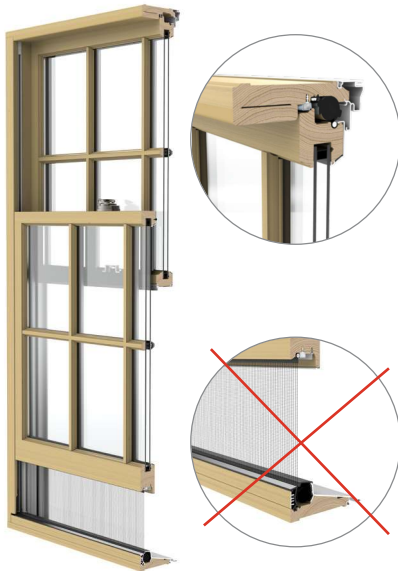
# Pella® Reserve™

## Traditional Wood & Clad/Wood



Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- **Easy-to-learn Pella Steady Set™ interior installation system**

Pella Steady Set Interior Installation System is a revolutionary, award-winning and safer way to install new construction windows.<sup>1</sup> The simple system is the fastest, most labor efficient wood window installation system with uncompromising quality.<sup>2</sup> Available on select windows.

- **Historical Details**

Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve – Traditional products are the ideal choice for historical renovations and traditional building projects.

- **Authentic hardware**

Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.

- **Architectural interest**

Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles to provide meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.

- **Virtually unlimited customization**

If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.

- **Tailor-made solutions**

From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.

- ~~**Intentional innovation**~~

The award-winning Integrated Rolscreen® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window and rolls away, out of sight, when you close it.

- **Durable interiors and extruded aluminum exteriors**

To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.

- **ENERGY STAR® certified<sup>3</sup>**

Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.

- **Testing beyond requirements**

All wood products and testing are not created equal. Pella raises the bar on industry standard testing and beyond to deliver long-lasting products and reduced callbacks. Every Pella wood window and door passes 5, on average, quality checks before it arrives on the jobsite.

- **Best limited lifetime warranty<sup>4</sup>**

Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.<sup>4</sup>

Available in these window and patio door styles:



Special shape windows also available.

<sup>1,2,3,4</sup> See back cover for disclosures.



Pella at Lowe's



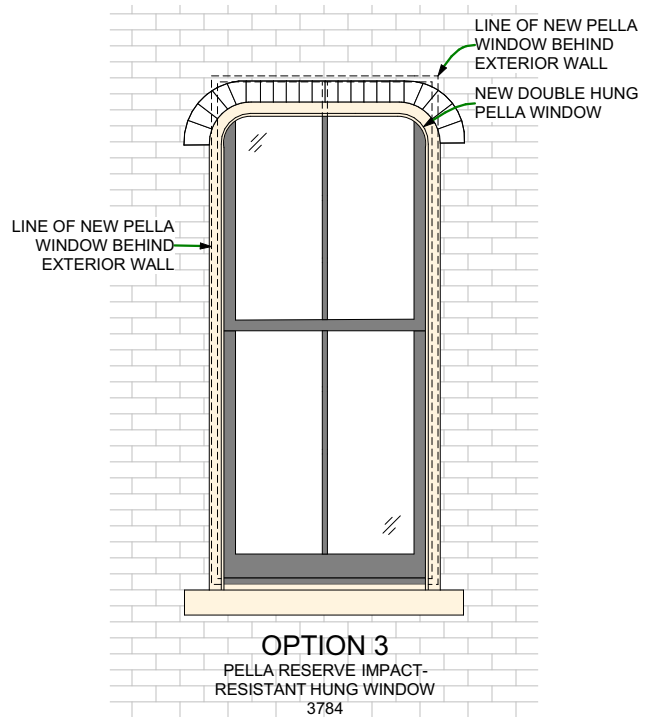
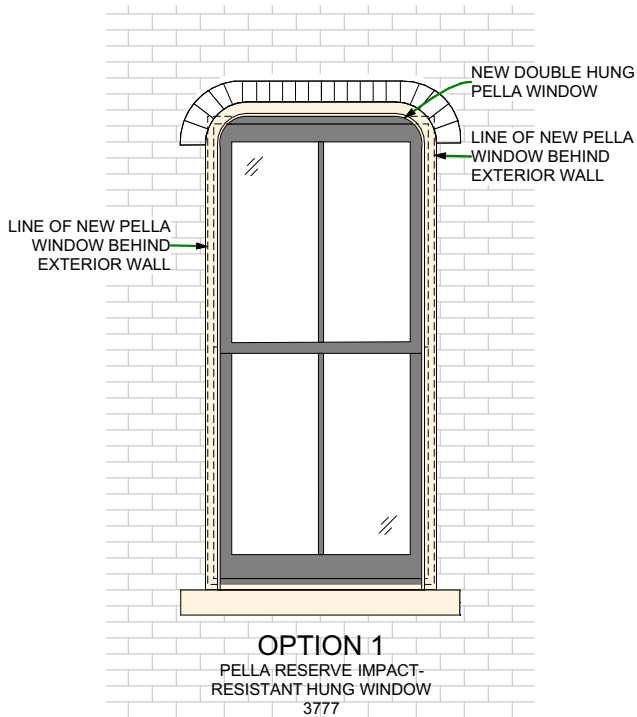
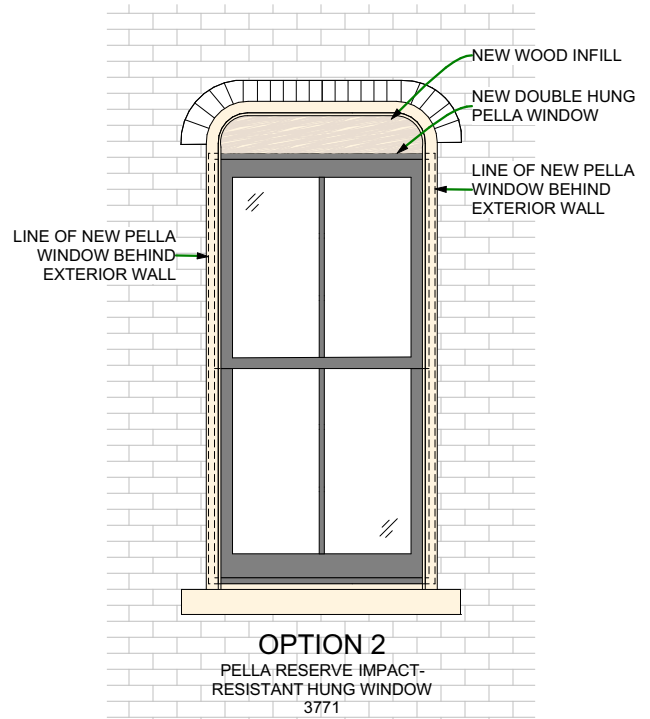
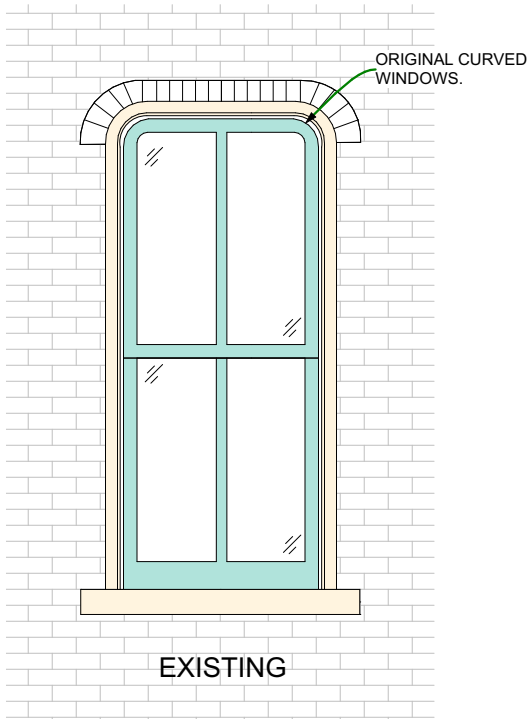
### Pella Lifestyle Series Windows | Pella at Lowe's

[Visit >](#)

Images may be subject to copyright. [Learn More](#)



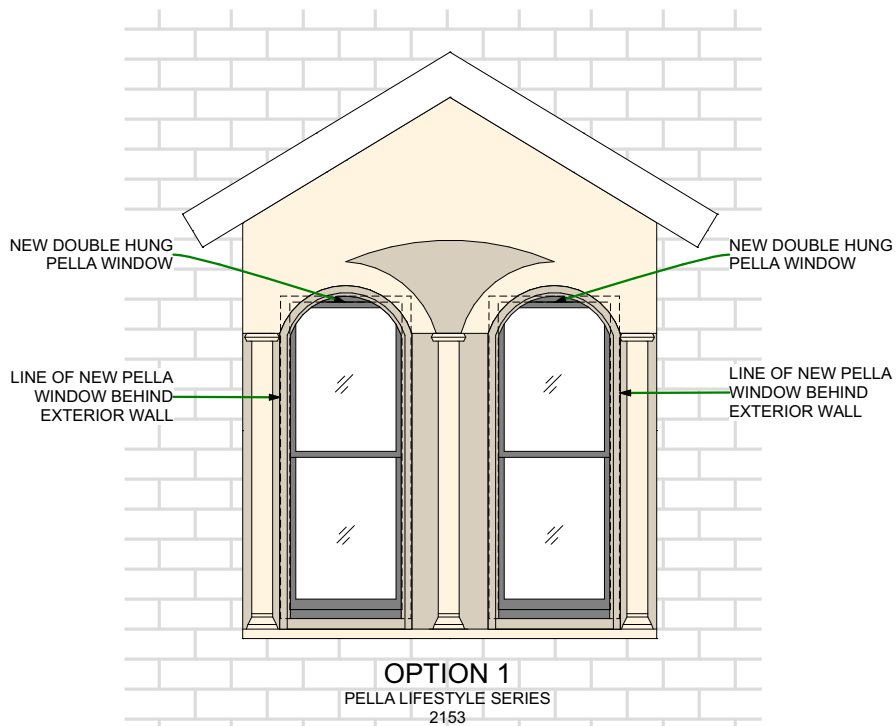
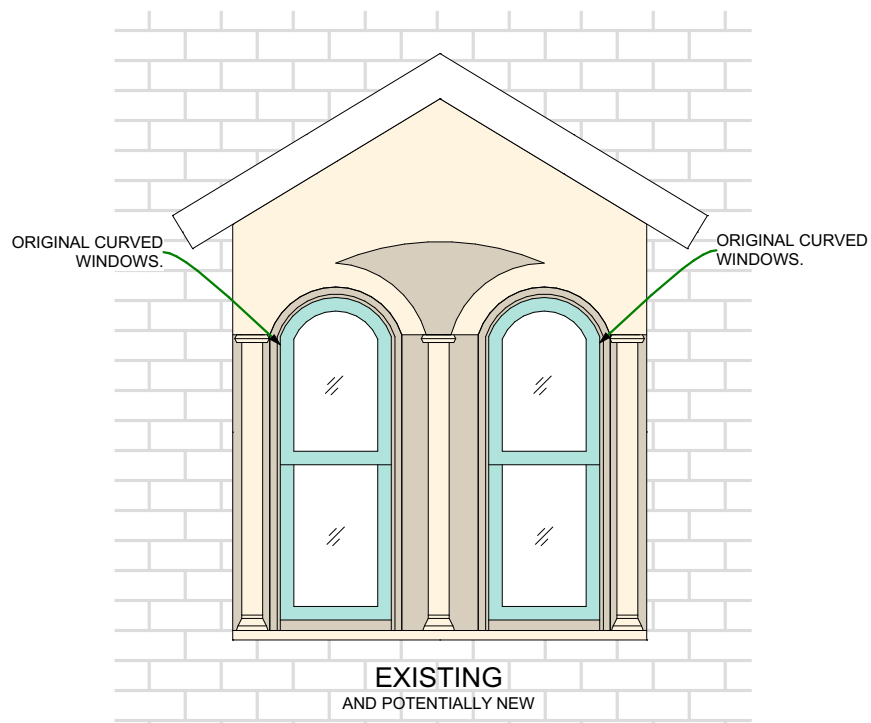
**Window Rendering**



1529 Sedgwick Street  
HRC Window Presentation



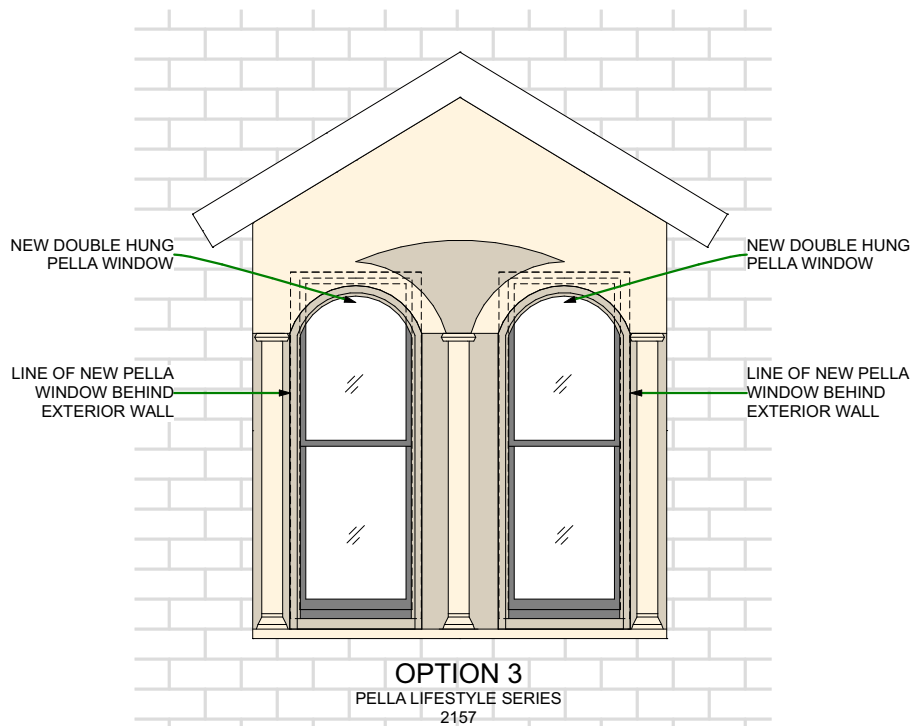
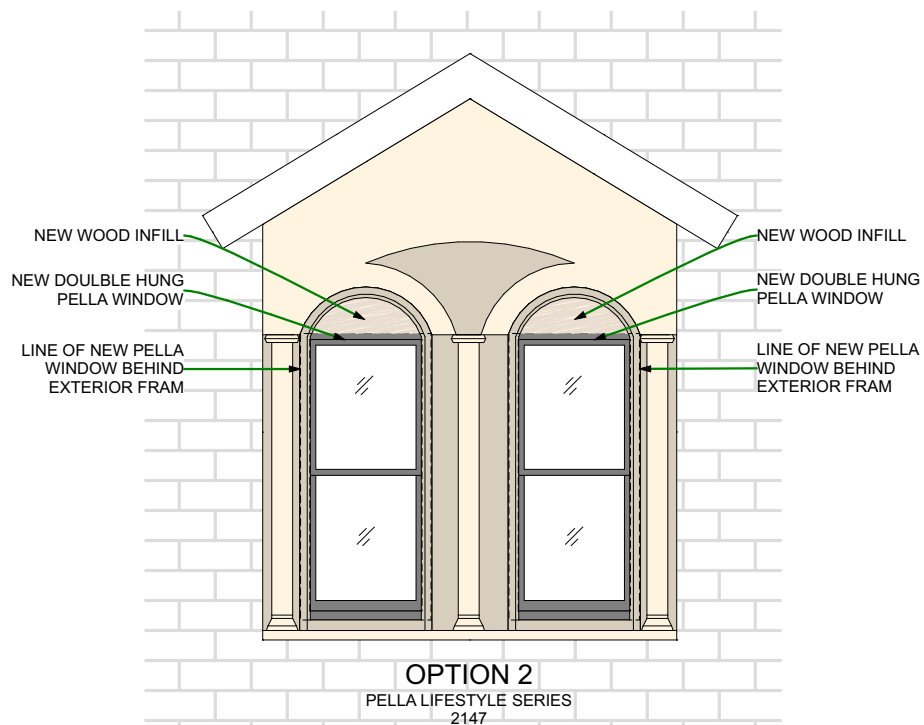
PHONE:: 412 281 6001 FAX:: 412 281 6002  
www.farpc.com 205 ROSS STREET PITTSBURGH, PENNSYLVANIA 15219



1529 Sedgwick Street  
HRC Window Presentation



PHONE:: 412 281 6001 FAX:: 412 281 6002  
www.farpc.com 205 ROSS STREET PITTSBURGH, PENNSYLVANIA 15219



1529 Sedgwick Street  
HRC Window Presentation



## Cost Comparison

|                                 |                                     |
|---------------------------------|-------------------------------------|
| New Replacement<br>Window Cost* | Refurbish Existing<br>Window Cost** |
|---------------------------------|-------------------------------------|

|                    |                  |                  |
|--------------------|------------------|------------------|
| Material           | \$ 44,119        | \$ 1,200         |
| Labor              | \$ 10,286        | \$ 59,317        |
| Overhead & Profit  | \$ 7,617         | \$ 8,472         |
| <b>Total Costs</b> | <b>\$ 62,021</b> | <b>\$ 68,989</b> |
| per window cost    | \$ 2,697         | \$ 3,000         |

*\*Lead Time to order and install windows is seven (7) weeks (i.e. 9/23/2026)*

*\*\*Construction time to refurbish windows is twelve (12) weeks (i.e. 10 28/2026)*

**Note: Project financing requires construction to be completed by 9/30/2026**



**Thank You  
Questions**



**Jerome Frank  
Sr. Development Manager  
Housing Authority of the City of Pittsburgh  
(412) 643-2738  
[jerome.frank@hacp.org](mailto:jerome.frank@hacp.org)**