



A. PROJECT INFORMATION

1. ZONING DEVELOPMENT REVIEW CASE INFORMATION

Application is: Development Project Protest Appeal

ZDR Case Number: BDA-2024-06371

Project Description: USE OF 25'-10 1/4" X 26'-3 3/4" BY 27'-5 1/2" TALL, TWO STORY, TWO CAR DETACHED GARAGE AT REAR OF SINGLE UNIT RESIDENCE

Case Review Date: NOV 2024

2. SITE INFORMATION

Development Address: 4103 BEECHWOOD BLVD, Pittsburgh, PA 15207

Parcel (s): 54-L-184

Zoning Designation: RM-M;H

Neighborhood: Greenfield

Registered Community Organization: Greenfield Community Association

Date of Development Activities Meeting: DDD

B. ZBA REQUESTS

Type of Request: Variance Code Section: 912.04E

Accessory structure exceeds fifteen (15) feet in height.

NEW RESIDENTIAL GARAGE

4103 BEECHWOOD BLVD, PITTSBURGH, PA 15207

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BUILDING CODE SUMMARY

- PROJECT DESCRIPTION:**
 THIS PROJECT ENTAILS CONSTRUCTION OF AN ATTACHED 2-STORY 2-CAR GARAGE WITH CONNECTING BREEZEWAY AT THE REAR OF AN EXISTING SINGLE FAMILY RESIDENCE.
- PROJECT DETAILS:**
 APPLICABLE CODE: IRC 2018 EXCEPT AS FOLLOWS BY PA CODE TITLE 34 - LABOR AND INDUSTRY PART XIV - UNIFORM CONSTRUCTION CODE 403.21:
- THE PROVISIONS OF CHAPTERS 2-29 AND 31-35 OF THE "INTERNATIONAL BUILDING CODE," EXCEPT THAT IN OCCUPANCIES IN USE GROUP R-3 AND WITHIN DWELLING UNITS IN OCCUPANCIES IN USE GROUP R-2 THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES (229 MM). A 1-INCH (25 MM) NOSING SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS.
 - THE FOLLOWING SPECIFICATIONS APPLY TO RESIDENTIAL STAIRWAY TREADS AND RISERS.
 - THE MAXIMUM RISER HEIGHT IS 8 1/4 INCHES. THERE MAY BE NO MORE THAN A 3/8 INCH VARIATION IN RISER HEIGHT WITHIN A FLIGHT OF STAIRS. THE RISER HEIGHT IS TO BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS.
 - THE MINIMUM TREAD DEPTH IS 9 INCHES MEASURED FROM TREAD NOSING TO TREAD NOSING.
 - THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS MAY NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
 - TREADS MAY HAVE A UNIFORM PROJECTION OF NOT MORE THAN 1 1/2 INCHES WHEN SOLID RISERS ARE USED.
 - STAIRWAYS MAY NOT BE LESS THAN 3 FEET IN CLEAR WIDTH AND CLEAR HEADROOM OF 6 FEET 8 INCHES SHALL BE MAINTAINED FOR THE ENTIRE RUN OF THE STAIR.
 - HANDRAILS MAY PROJECT FROM EACH SIDE OF A STAIRWAY A DISTANCE OF 3 1/2 INCHES INTO THE REQUIRED WIDTH OF THE STAIR.

STRUCTURAL DESIGN CRITERIA:

DESIGN CODES:
 A. IRC 2018
 B. ANSI/ASCE-7 2016
 C. PA UNIFORM CONSTRUCTION CODE (UCC)

LIVE LOADS:
 A. ROOF LIVE LOAD 20 PSF

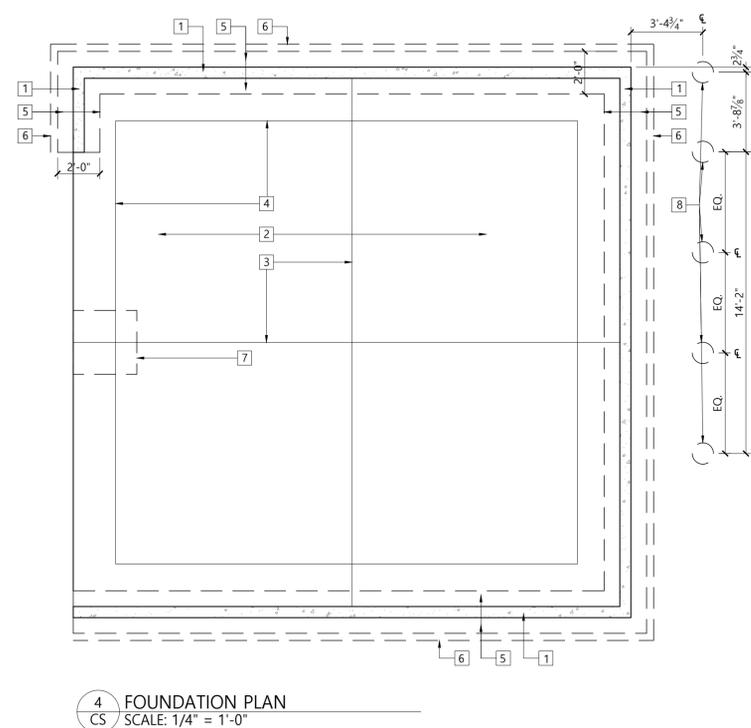
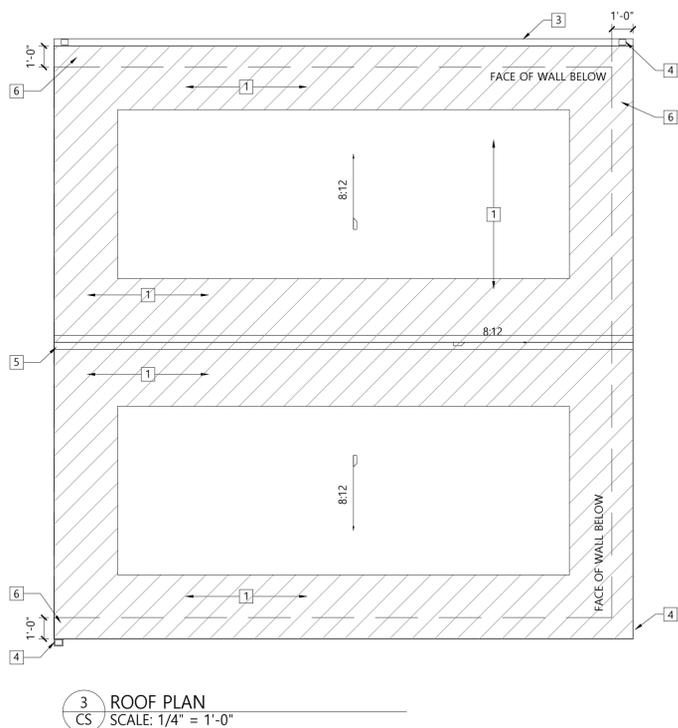
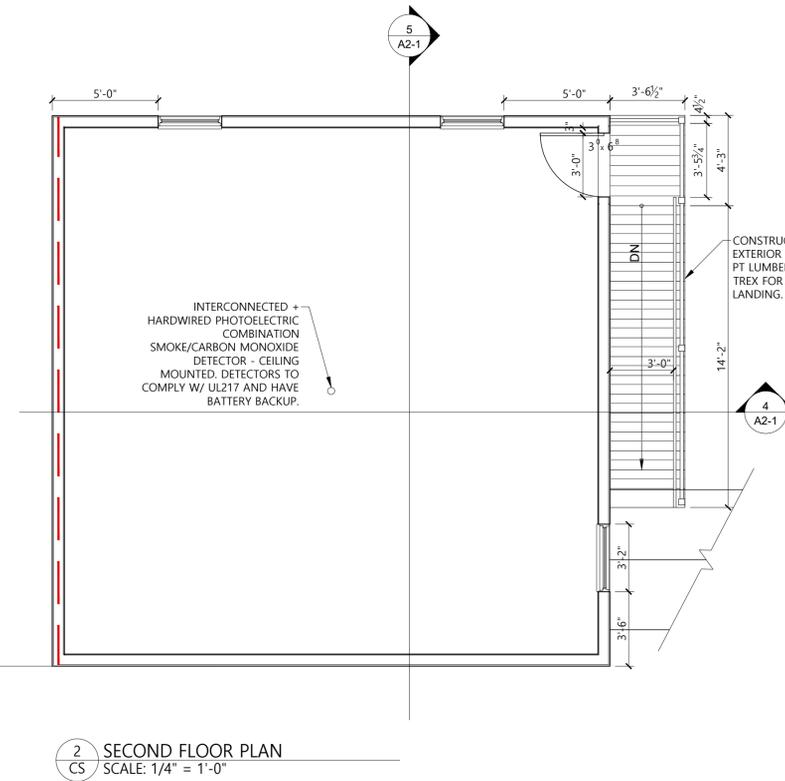
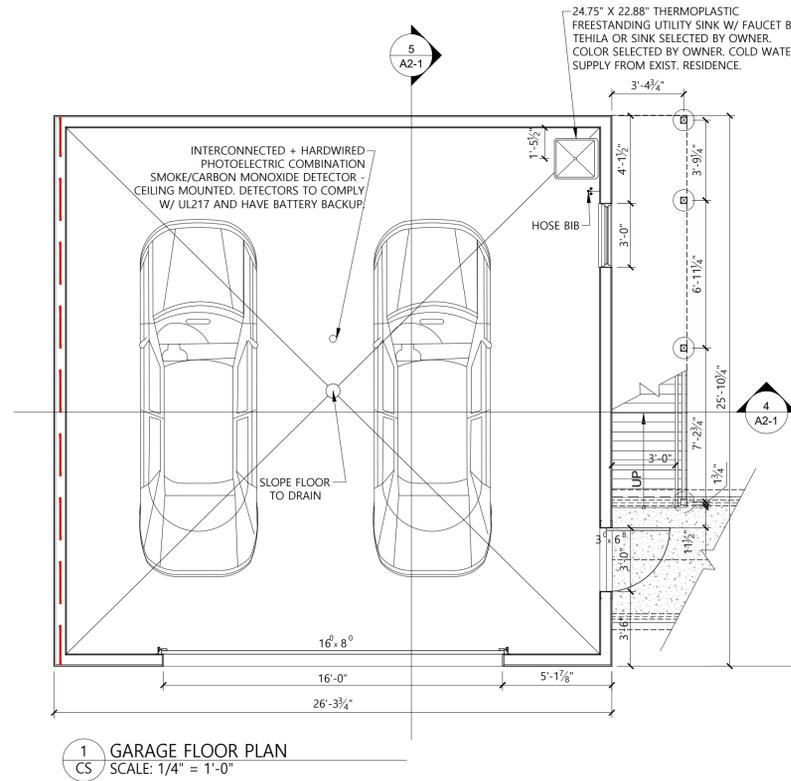
SNOW LOAD:
 A. GROUND SNOW (Pg) 30 PSF
 B. EXPOSURE FACTOR (Ce) 1.0
 C. THERMAL FACTOR (Ct) 1.0
 D. SNOW IMPORTANCE FACTOR (Is) 1.0

WIND LOAD:
 A. WIND RISK CATEGORY II
 B. BASIC WIND SPEED 115 MPH
 C. WIND EXPOSURE CAT B
 D. INTERNAL PRESSURE COEFF +/- .18
 E. COMPONENTS AND CLADDING 16 PSF MIN

SEISMIC LOAD:
 A. SEISMIC RISK CAT II
 B. SEISMIC IMPORTANCE FACTOR 1.0
 C. Ss 0.090
 D. S1 0.045
 E. SITE CLASS D
 F. Sds 0.096
 G. Sd1 0.072
 H. SEISMIC DESIGN CATEGORY B

PRE-ENGINEERED TRUSS DESIGN LOAD:
 A. TOP CHORD LIVE LOAD: 25PSF
 B. TOP CHORD DEAD LOAD: 10PSF
 C. BOTTOM CHORD LIVE LOAD: 0PSF
 D. BOTTOM CHORD DEAD LOAD: 10PSF

FIRE RATINGS OF GARAGE:
 SIDE WALLS LESS THAN 5' FROM PROPERTY LINE ARE FIRE-RESISTANCE RATED PER TABLE R302.1(1)
 SIDE WALLS LESS THAN 3' FROM PROPERTY LINE HAVE NO OPENINGS PER TABLE R302.1(1)



DRAWING INDEX

- A1-1 PLANS
- A2-1 ELEVATIONS & SECTIONS
- A3-1 DETAILS

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE.
- ALL DIMENSIONS ARE TO FINISHED FACE UNLESS OTHERWISE NOTED.

PARTITION LEGEND

- 2x6 WOOD STUDS @ 16" O.C. W/ CDX PLYWOOD SHEATHING & BOARD & BATTEN EXTERIOR & 1/2" GWB INTERIOR
- 1-HR RATED WALL, 2x6 WOOD STUDS @ 16" O.C. W/ 1/2" DENSGLASS EXTERIOR & 1/2" TYPE 'X' GWB INTERIOR. MEETS UL DESIGN # U309. SEE DETAIL 2/A3-1

ROOF PLAN KEYNOTES

- 30 YEAR DIMENSIONAL 'AR' SHINGLES OVER 30LB ROOF FELT, COLOR SELECTED BY OWNER
 - 4" PRE-FINISHED ALUM. GUTTER W/ FASCIA. COLOR SELECTED BY OWNER
 - 5" K STYLE BOX GUTTER
 - 4X3 D.S. CONNECTED TO STORM WATER SYS
 - CONTINUOUS UNFILTERED RIDGE VENT
 - 12" VENTED SOFFIT. ALIGN W/ EXISTING SOFFIT
- NOTE:
 • EXTENT OF ICE AND WATER SHIELD (MIN. 3'-0" WIDE AT ANY LOCATION)
 • ALL NEW ROOF EDGES TO RECEIVE 24 GA. AL-ZN COATED STEEL DRIP EDGE, EXTEND ICE AND WATER SHIELD BEYOND ROOF EDGE PER MFR. RECOMMENDATIONS
 • SEE STRUCTURAL DRAWINGS FOR FRAMING

FOUNDATION PLAN KEYNOTES

- 6 1/2" THICK POURED CONCRETE FOUNDATION WALL W/ #5s LONGITUDINAL & #4s@18 TRANSVERSE
- 5" POURED CONCRETE SLAB OVER 4" COMPACTED GRAVEL BASE W/ W1.4x1.4 6x6 WIRE MESH
- 1"D. SAWCUT CONTROL JT W/ SEALANT
- 2" XPS RIGID FOAM 24" FROM PERIMETER OF BLOCK
- 12" D X 24" W CONTINUOUS CONCRETE FOOTER W/ (3) #5s LONGITUDINAL & #4s@18 TRANSVERSE. COAT TOP OF FOOTER W/ BITUMINOUS DAMPROOFING FOR CAPILLARY BREAK, TYP
- 4" # SCH 40 PERFORATED PVC FOUNDATION DRAIN W/ GEO TECH FABRIC OVER. CONNECT TO EX. STORM WATER SYSTEM OR DAYLIGHT PIPE
- EXISTING CONC. FOOTER
- 12" Ø X 3'-6" DEEP SONOTUBE

LOCATION MAP



PROJECT # 24-066
 JULY 23, 2024
 REISSUE DATES
 JUNE 2, 2025



NEW RESIDENTIAL GARAGE
 4103 BEECHWOOD BLVD, PITTSBURGH, PA 15207

COVER SHEET

CS

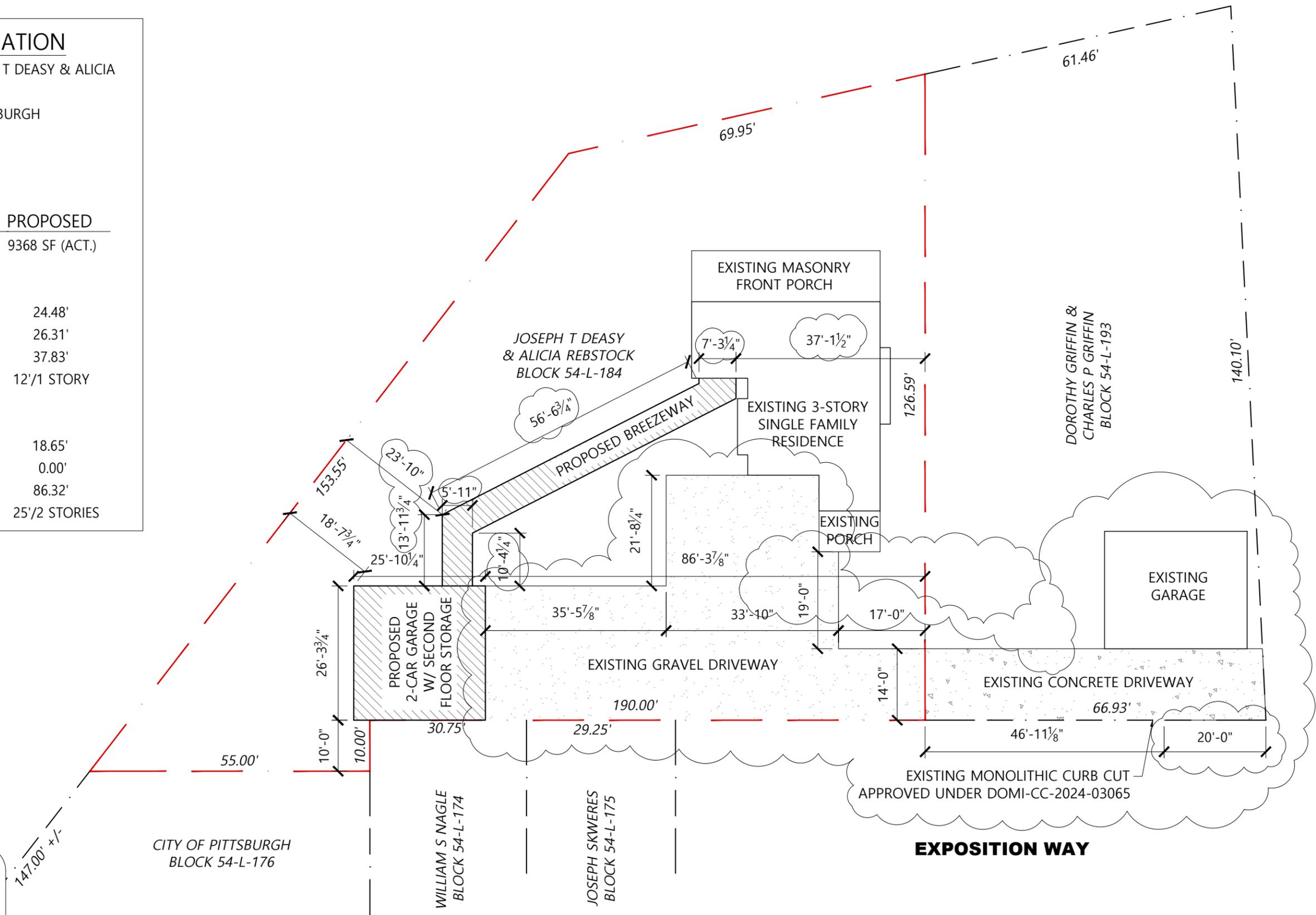
PROJECT INFORMATION

PROPERTY OWNER: JOSEPH T DEASY & ALICIA REBSTOCK
 15TH WARD, CITY OF PITTSBURGH
 ALLEGHENY COUNTY, PA
 LOT# 54-L-184
 ZONING DISTRICT: RM-M

REQUIRED	PROPOSED
MIN. LOT SIZE: 3200 SF	9368 SF (ACT.)
SETBACKS: BREEZEWAY	
FRONT = 25'	24.48'
REAR = 25'	26.31'
INT SIDEYD = 10'	37.83'
MAX HT: 55'4 STORIES	12'1 STORY
SETBACKS: GARAGE	
FRONT = 25'	18.65'
REAR = 25'	0.00'
INT SIDEYD = 10'	86.32'
MAX HT: 55'4 STORIES	25'2 STORIES



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RESIDENTIAL ADDITION

4103 BEECHWOOD BLVD, PITTSBURGH, PA 15207

REVISED: JUNE 2, 2025
 REVISED: FEBRUARY 24, 2025
 REVISED: JANUARY 3, 2025
 REVISED: DECEMBER 18, 2024
 OCTOBER 8, 2024

PLOT PLAN
PLT