



A. PROJECT INFORMATION

1. ZONING DEVELOPMENT REVIEW CASE INFORMATION

Application is: ☒ Development Project ☐ Protest Appeal

ZDR Case Number: BDA-2025-02172

Project Description: New Mexican Market

Case Review Date: March 2025

2. SITE INFORMATION

Development Address: 1621 BROADWAY AVE

Parcel (s): 35-G-12

Zoning Designation: LNC

Neighborhood: Beechview

Registered Community Organization: N/a

Date of Development Activities Meeting: N/r

B. ZBA REQUESTS

Type of Request: Special Exception

Code Section: 911.02

Description: IN EXISTING ONE-STORY STRUCTURE WITH BASEMENT, USE OF 7114 SQ FT AS GROCERY STORE (G) FOR MEXICAN MARKET.

MEXICAN MARKET - Occupancy set

PROJECT CONTACTS

OWNER:

BERUMEN PROPERTIES LIMITED
administracion@laspalmaspitt.com
laspalmaspitt@hotmail.com

ARCHITECT:

TANAMAY GILLESPIE MORALES
787-638-1001

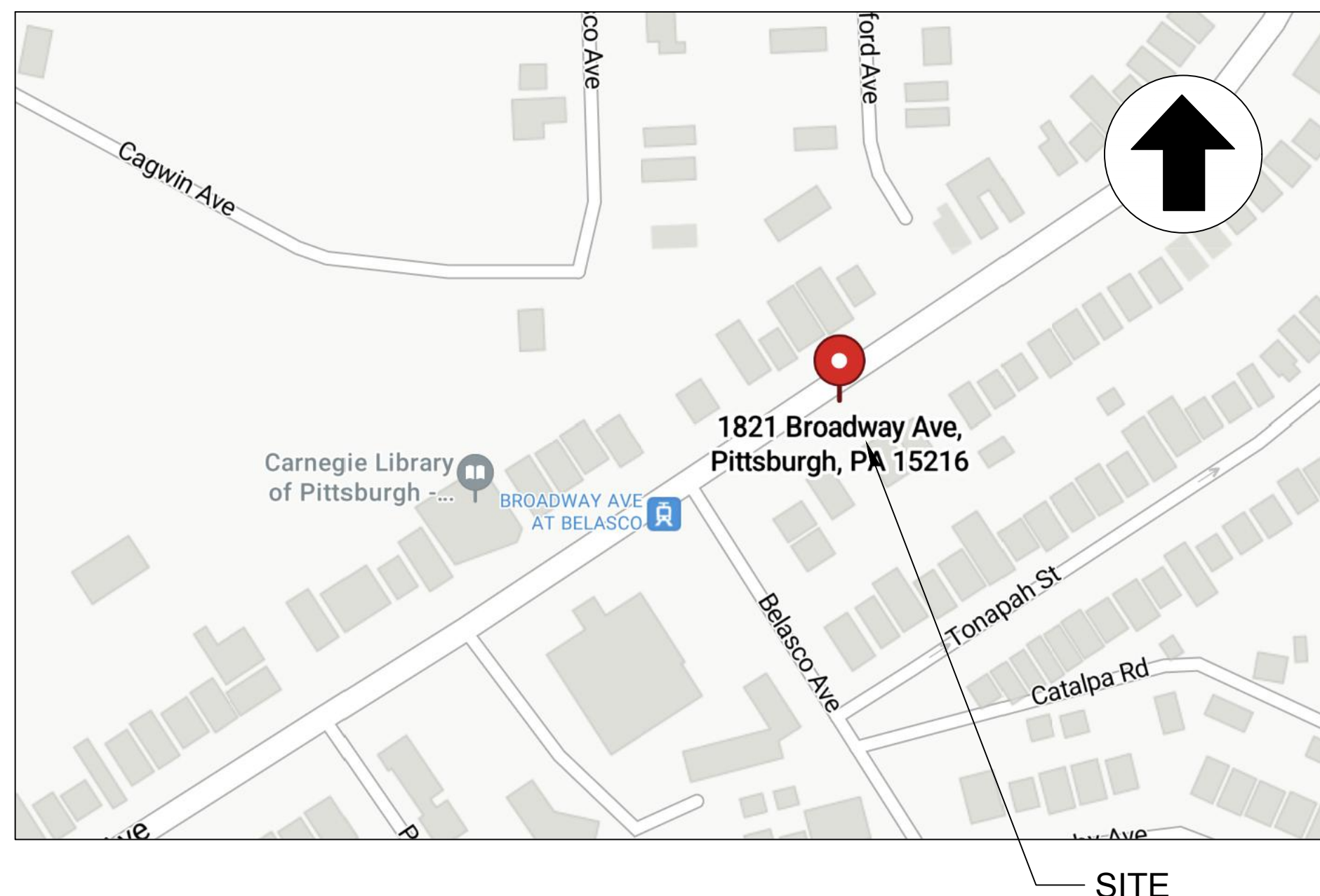
CONTRACTOR:

PRODIGY HOME BUILDERS
1546 FULTON ST, PITTSBURGH, PA 15233
412-710-8084

INDEX OF DRAWINGS

NO.	SHEET NAME	ISSUE DATE	REVISION	NO. REVISION DAATE
G001	COVER SHEET	02/24/2025		
G002	EXISTING AND SITE PLANS	02/24/2025		
G003	EXISTING PLANS	02/24/2025		
G004	OCCUPANCY PLANS	02/24/2025		
G005	OCCUPANCY PLANS	02/24/2025		
G006	LIFE SAFETY PLANS	02/24/2025		
G007	LIFE SAFETY PLANS	02/24/2025		
A701	FURNITURE PLAN	02/24/2025		
A702	FURNITURE PLAN	02/24/2025		

VICINITY MAP



BUILDING INFORMATION

THE PURPOSE OF THIS PROJECT IS RECONFIGURATION OF THE SPACE WITHIN THE EXISTING BUILDING LOCATED AT 1621 BROADWAY AVE, PITTSBURGH PA, 15 216.

THE WORK CONSIST OF CHANGES TO THE EXISTING BUILDING USE GROUP TO SERVE AS (GROUP M - MERCANTILE) MARKET STORE, INCLUDING SOME NEW FURNITURE AND EQUIPMENT, FINISHES, AND PLUMBING FIXTURES. NO STRUCTURAL OR EXTERIOR WORK IS INCLUDED IN THIS PROJECT.

AUTHORITY HAVING JURISDICTION:

ALLEGHENY COUNTY

1. APPLICABLE CODES		REFERENCE
APPLICABLE CODES	PENNSYLVANIA UNIFORM CONSTRUCTION CODE (PA UCC) INTERNATIONAL EXISTING BUILDING CODE 2018 (IEBC), INTERNATIONAL BUILDING CODE 2018 (IBC), THE 2017 ARTICLE XV ALLEGHENY COUNTY HEALTH DEPARTMENT PLUMBING CODE (AC) AMERICAN NATIONAL STANDARDS INSTITUTE CODE 2010. (ICC/ANSI A117.1 2009)	
2. BUILDING USE		
BUILDING GROUP	EXISTING ASSEMBLY A-3	
PROPOSED	MERCANTILE M	IBC SECTION 309
2. ALTERATIONS TO AN EXISTING BUILDING		
CLASSIFICATION OF WORK	LEVEL 2 ALTERATIONS	IEBC SECTION 8
3. BUILDING AREA		
BASEMENT		3, 557 SF
FIRST FLOOR		3, 557 SF
TOTAL BUILDING AREA		7, 114 SF

4. OCCUPANT LOAD (PER TABLE 1004.1.1)		
GROUP M	106 OL	
5. FIRE SEPARATION (PER IIBC 1301.2.1)	REQUIRED	PROVIDED
GROUP M	N/A	N/A
6. EXITS (PER IBC TABLE 1006.3.2)		
GROUP M	2	2
7. EGRESS WIDTH INCHES PER OCCUPANT (PER IBC SECTION 1005.3.2)		
GROUP M	0.2	0.2
8. EXIT ACCESS TRAVEL DISTANCE IN FEET (PER TABLE IBC 1017)		
	200' MAX	128'-6"
7. STAIR EGRESS WIDTH INCHES PER OCCUPANT (PER IBC SECTION 1005.3.1)		
GROUP M	0.3	0.3

9. PLUMBING FIXTURES (PER ALLEGHENY COUNTY PLUMBING CODE TABLE AC-403.1)

PLUMBING FIXTURES FOR M OCCUPANCY:

106 OL	WATER CLOSET	LAVATORY	DRINKING FOUNTAIN	SERVICE SINK
REQUIRED	1 PER 500	1 PER 750	1 PER 1000	1
	1	1		
PROPOSED	6	4	1	1

ZONING CODE ANALYSIS (COMMERCIAL)

CITY OF PITTSBURGH		
PARCEL ID	35-G-12	
ZONING DISTRICT	LNC	
EXISTING CERTIFICATE OF OCCUPANCY	UNKNOWN	
PROPOSED OCCUPANCY CLASSIFICATION	M (MERCANTILE)	
BUILDING AREA	7, 114 SF	
WORK SCOPE	OCCUPANCY PERMIT	
PARKING STANDARDS	REQUIRED	PROVIDED
REGULAR	N/A	-
HANDICAP SPACES	N/A	-
OFF-STREET LOADING	N-A	-

ABBREVIATIONS

ACT - ACOUSTICAL	DBL - DOUBLE	GND - GROUND	OPP - OPPOSITE
CEILING TILE	DIM - DIMENSION	HC - HANDICAPPED	OPT - OPTION
ADJ - ADJUSTABLE	DN - DOWN	HORZ - HORIZONTAL	OSB - ORIENTED
AFF - ABOVE FINISH	DTL - DETAIL	HT - HEIGHT	STRAND BOARD
FLOOR	DWG - DRAWING	HW - HOT WATER	PC - PLUMBING
ALM - ALTERNATE	EA - EACH	INS / INSUL -	CONTRACTOR
ALUM - ALUMINUM	ELEC - ELECTRICAL	INSULATION	PERF - PERFORATED
APPROX -	ELEV - ELEVATOR	INTER - INTERIOR	PLAM - PLASTIC
APPROXIMATELY	EQ - EQUIPMENT	JT - JOINT	LAMINATE ON
ARCH - ARCHITECT	EQUIPT - EQUIPMENT	LB - POUND	PARTICLE BOARD
BLDG - BUILDING	EXIST - EXISTING	LF - LINEAR FEET	PT - PAINT
BLKG - BLOCKING	EXT - EXTERIOR	LV - LOW VOLTAGE	REQD - REQUIRED
BLKHD - BULKHEAD	FD - FLOOR DRAIN	MAX - MAXIMUM	RM - ROOM
CPT - CARPET	FE - FIRE	MC - MECHANICAL	SA - SOUND
CJ - CONTROL JOINT	EXTINGUISHER	CONTRACTOR	ATTENTION/ATTN
CL - CENTER LINE	FFE - FURNITURE	MEC - MECHANICAL	SF - SQUARE FEET
CLG - CEILING	FIXTURES &	MTL - METAL	TYP - TYPICAL
CLO - CLOSET	EQUIPMENT	MFR -	UG - UNDERGROUND
CMU - CONCRETE	FIN - FINISH	MANUFACTURER	UNO - UNLESS NOTED
MASONRY UNIT	FF - FINISH FLOOR	MIN - MINIMUM	OTHERWISE
CNTR - COUNTER	FLR - FLOOR	MO - MASONRY	V - VINYL
COL - COLUMN	FT - FOOT	OPENING	WD - WOOD
CONC - CONCRETE	BD / GWB - GYPSUM	NIC - NOT IN	WP - WATER PROOF
CONT - CONTINUOUS	WALL BOARD	CONTRACT	WWF - WELDED WIRE
DIA - DIAMETER	GC - GENERAL	NTS - NOT TO SCALE	FABRIC
	CONTRACTOR	OC - ON CENTER	
		OH - OVERHEAD	

GENERAL NOTES

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. ALL WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH PREVAILING FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS.
3. DO NOT SCALE DRAWINGS. ANY DIMENSIONAL INFORMATION REQUIRED WHICH IS NOT INDICATED ON DRAWING DIMENSION STRINGS SHALL BE OBTAINED FROM THE ARCHITECT.



-	03/06/2025	ISSUED FOR PERMIT
MARK	DATE	DESCRIPTION

MEXICAN MARKET
1621 BROADWAY AVE, PITTSBURGH, PA 15216

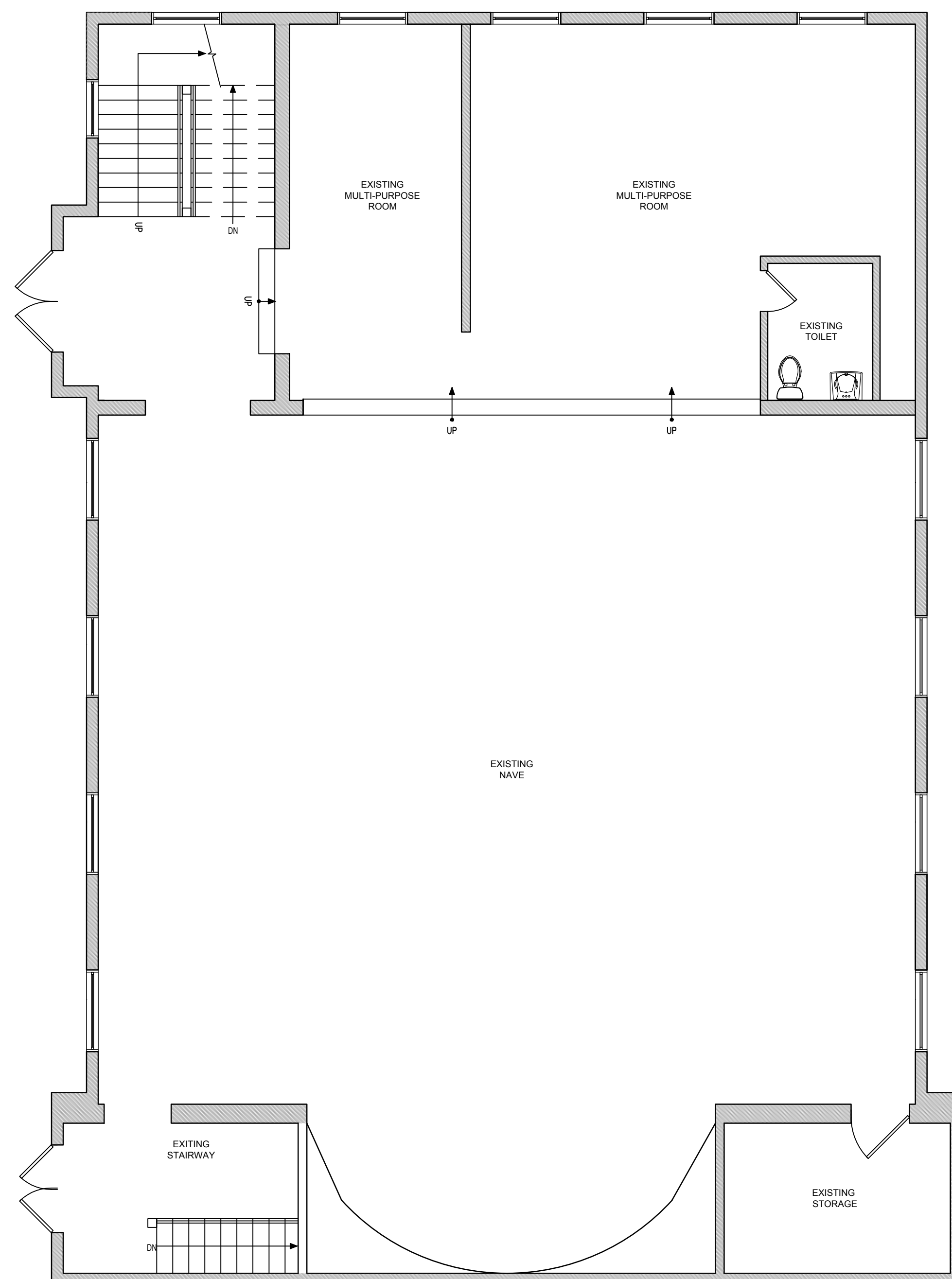
COVER SHEET

DATE:02/24/2025

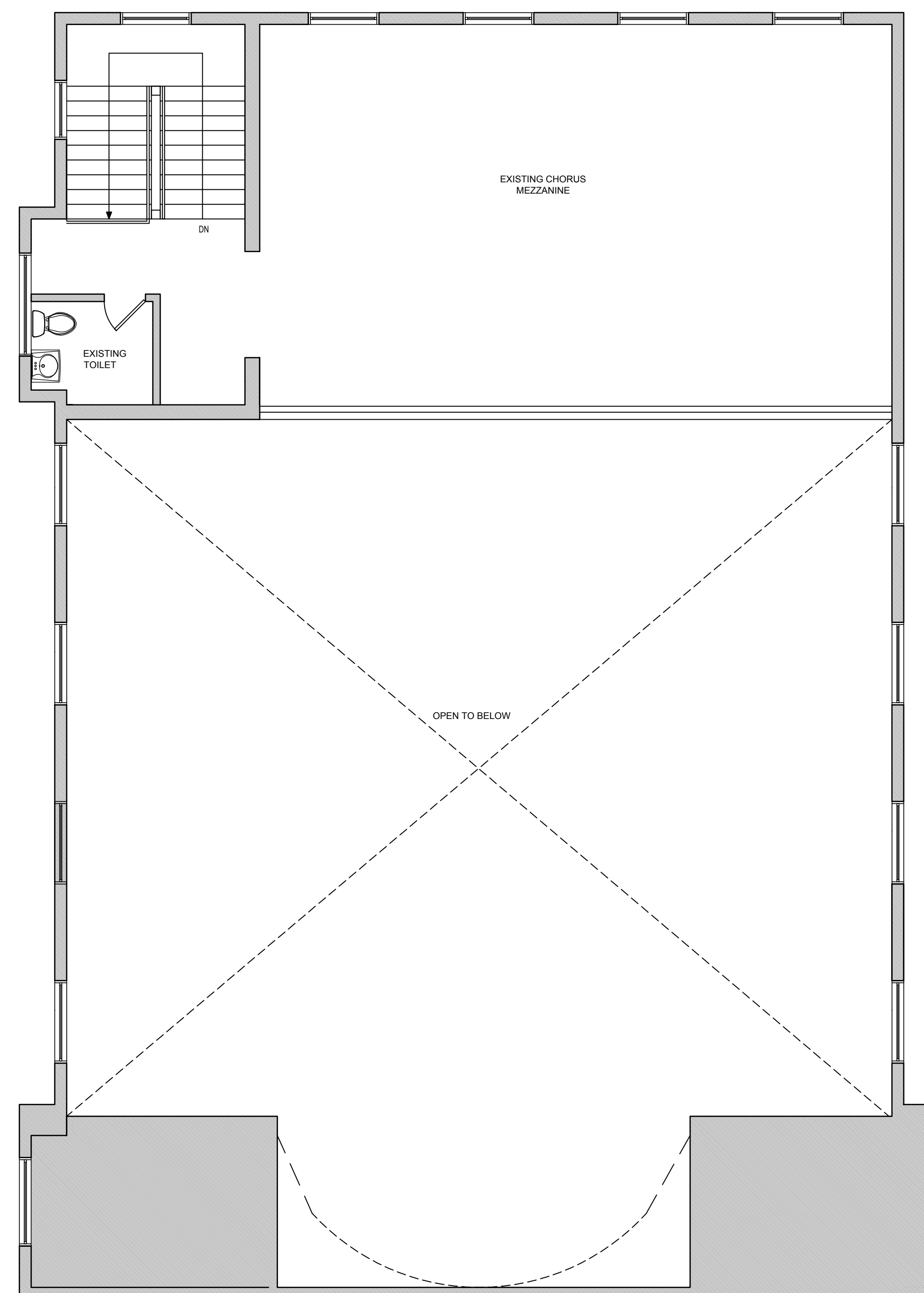
SCALE: VARIES

SEET #:

G001



1 EXISTING FIRST FLOOR PLAN

$$3/16'' = 1'-0''$$


2 EXISTING MEZZANINE

$$3/16'' = 1'-0''$$


Studio Huana
DRAFTING SERVICES ONLY



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MEXICAN MARKET

1621 BROADWAY AVE, PITTSBURGH, PA 15216

EXISTING FLOOR PLANS

DATE: 02/24/2025

SCALE: VARIES

SEET #:

G003

60 SF
150 1

NEW
ADMIN OFFICE

NEW JAN.

UP

458 SF
60 8

NEW MARKET
85 SF
60 2

NEW MARKET
85 SF
60 2

EXISTING
MEN'S RESTROOM

NEW MARKET AREA
1059 SF
60 18

NEW MARKET AREA
250 SF
60 5

NEW MARKET
109 SF
60 2

NEW MARKET
109 SF
60 2

NEW MARKET
109 SF
60 2



NEW MARKET
109 SF
60 2

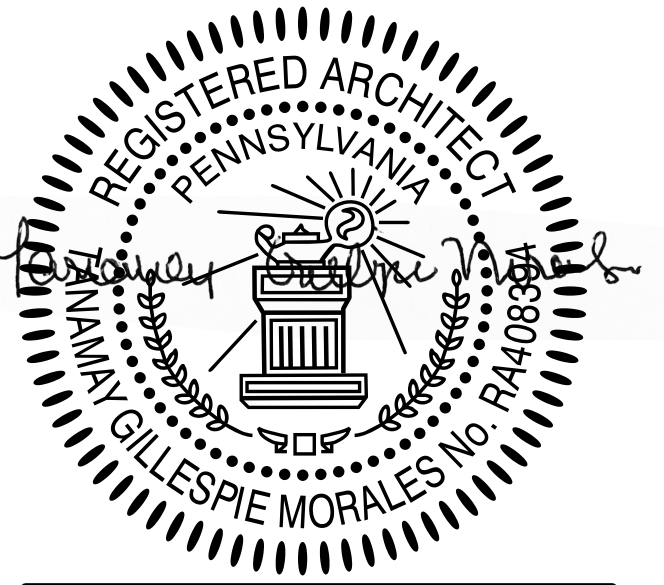
NEW MARKET
145 SF
60 3

EXISTING
MECHANICAL
ROOM
125 SF
300 1

EXISTING
WOMEN'S
RESTROOM

The floor plan illustrates the layout of the 1st floor. It features a large central area labeled 'NEW MARKET AREA' with dimensions 2010 SF, 60' x 34'. To the upper left is a 'NEW MARKET' area (210 SF, 60' x 4') and a 'NEW VENDING MACHINES AREA' (479 SF, 60' x 8'). A staircase labeled 'EXITING STAIRWAY' is located in the bottom left corner. A small room with a toilet and sink is situated in the upper right. Arrows indicate 'UP' and 'DN' directions. A north arrow is positioned in the top left corner.

OCCUPANCY LOAD PER 2018 IBC			
	MARKET AREA	6, 198 SF	Studio Huana
	AREA:	60 GROSS	DRAFTING SERVICES ONLY
	OL FACTOR:		
	OCCUPANCY LOAD:	102 OL	



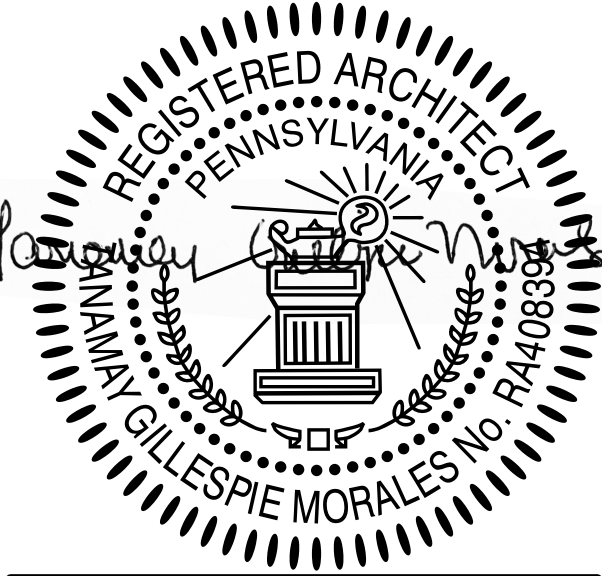
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MEXICAN MARKET
1621 BROADWAY AVE, PITTSBURGH, PA 15216

OCCUPANCY PLANS

G004

LIFE SAFETY PLAN LEGEND		
	MAX TRAVEL DISTANCE FROM MOST REMOTE POINT	 DIRECTION OF TRAVEL
	DIAGONAL	 EGRESS COUNT
	EMERGENCY LIGHT	 EGRESS WIDTH
	ILLUMINATED EXIT SIGN	 ALLOWABLE OCCUPANTS PER EGRESS WIDTH
	FIRE EXTINGUISHER	 OCCUPANTS COUNT



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MEXICAN MARKET

1621 BROADWAY AVE, PITTSBURGH, PA 15216

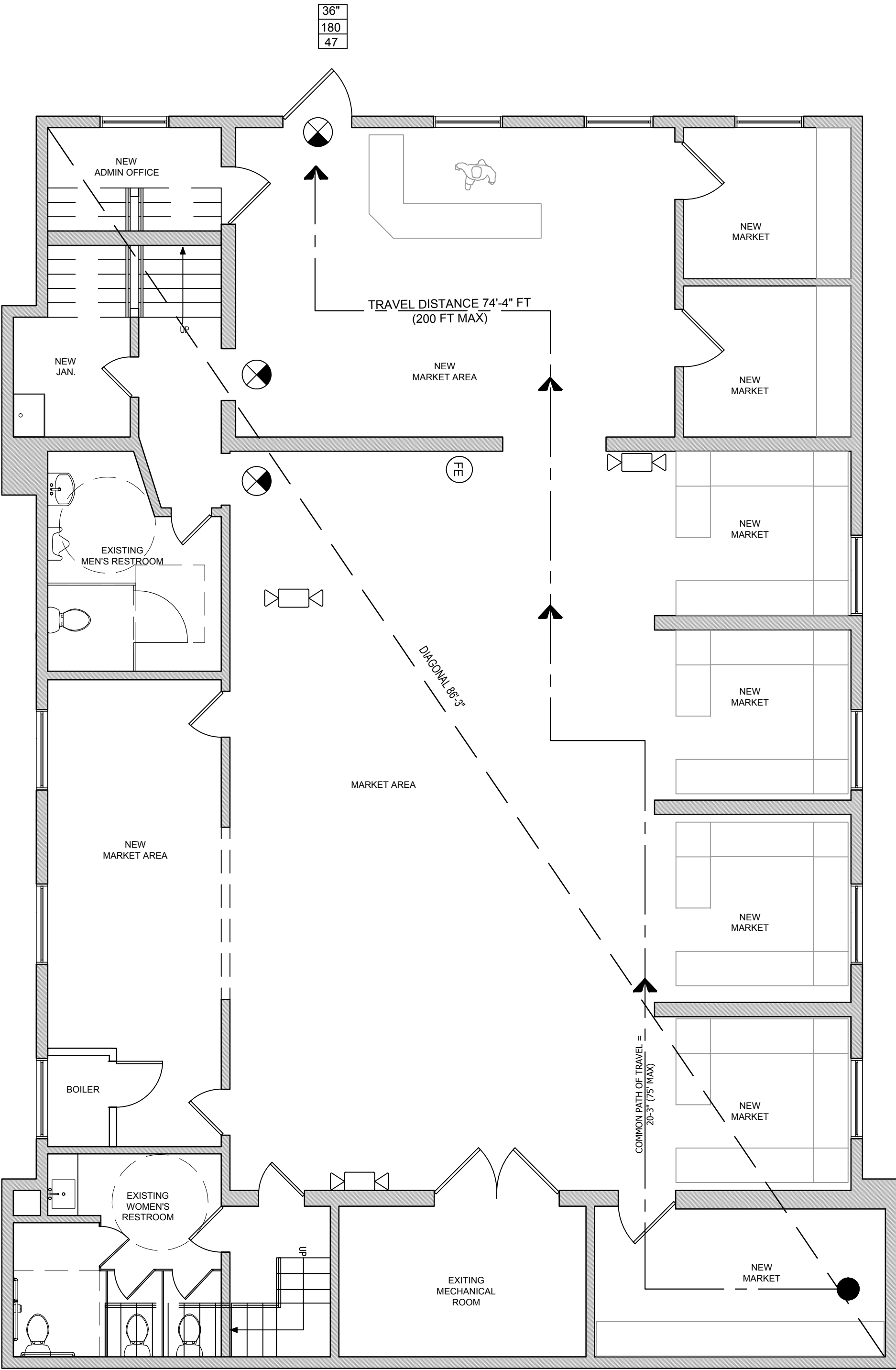
LIFE SAFETY PLANS

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SCALE: VARIES

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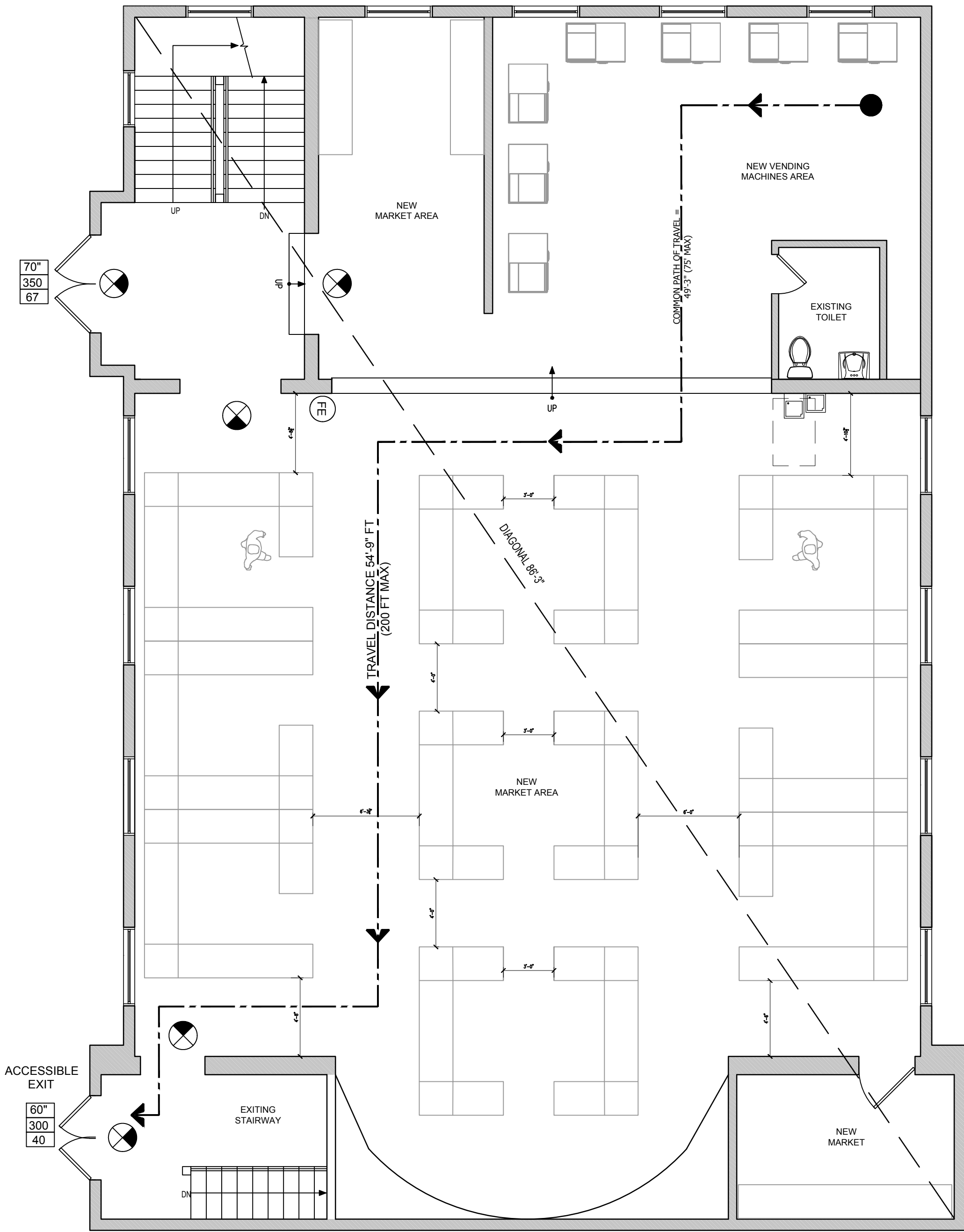
G006



1

BASEMENT - LIFE SAFETY PLAN

3/16" = 1'-0"

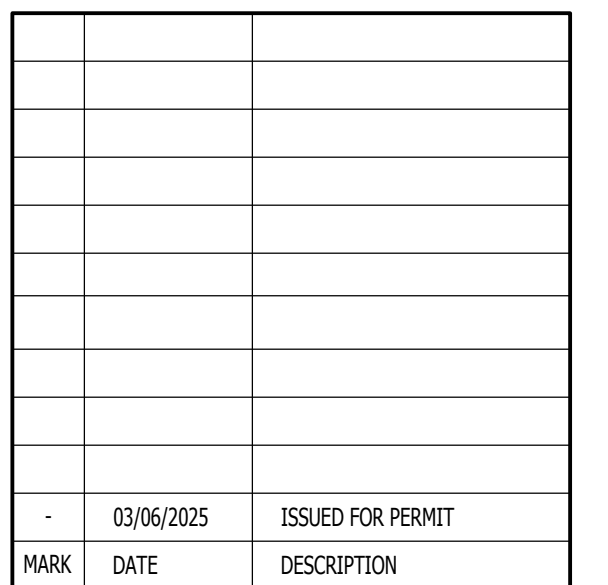


2

FIRST FLOOR - LIFE SAFETY PLAN

3/16" = 1'-0"





1621 BROADWAY AVE, PITTSBURGH, PA 15216

FURNITURE PLANS

A702