

PHFA #: TC2024-118

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APARTMENT UNIT MATRIX							
APARTMENT UNIT	UNIT TYPE	UNIT N.S.F.	UNIT G.S.F.	LR / S.F.	DR / S.F.	B-1 / S.F.	B-2 / S.F.
BASEMENT - UNIT 001	2-BDRM	744 NSF	877 GSF	134 NSF	144 NSF	145 NSF	132 NSF
BASEMENT - UNIT 002	2-BDRM	681 NSF	727 GSF	145 NSF	71 NSF	162 NSF	135 NSF
BASEMENT - UNIT 003	2-BDRM	851 NSF	919 GSF	183 NSF	86 NSF	101 NSF	185 NSF
BASEMENT - UNIT 004	2-BDRM	736 NSF	788 GSF	173 NSF	72 NSF	154 NSF	156 NSF
BASEMENT - UNIT 005	2-BDRM	805 NSF	842 GSF	141 NSF	142 NSF	154 NSF	127 NSF
1ST FLOOR - UNIT 101	2-BDRM	718 NSF	804 GSF	134 NSF	40 NSF	113 NSF	165 NSF
1ST FLOOR - UNIT 102	2-BDRM-ADA	831 NSF	921 GSF	250 NSF	73 NSF	135 NSF	140 NSF
1ST FLOOR - UNIT 103	2-BDRM	716 NSF	782 GSF	106 NSF	56 NSF	104 NSF	150 NSF
1ST FLOOR - UNIT 104	2-BDRM	708 NSF	814 GSF	180 NSF	64 NSF	130 NSF	87 NSF
1ST FLOOR - UNIT 105	1-BDRM	424 NSF	478 GSF	119 NSF	40 NSF	130 NSF	-
1ST FLOOR - UNIT 106	2-BDRM	754 NSF	832 GSF	125 NSF	41 NSF	170 NSF	106 NSF
1ST FLOOR - UNIT 107	2-BDRM-ADA	812 NSF	861 GSF	150 NSF	40 NSF	164 NSF	164 NSF
1ST FLOOR - UNIT 108	2-BDRM	724 NSF	795 GSF	116 NSF	40 NSF	114 NSF	164 NSF
2ND FLOOR - UNIT 201	2-BDRM	784 NSF	857 GSF	127 NSF	106 NSF	185 NSF	124 NSF
2ND FLOOR - UNIT 202	2-BDRM-ADA	728 NSF	779 GSF	150 NSF	106 NSF	166 NSF	156 NSF
2ND FLOOR - UNIT 203	2-BDRM	704 NSF	774 GSF	168 NSF	44 NSF	116 NSF	166 NSF
2ND FLOOR - UNIT 204	1-BDRM	430 NSF	509 GSF	133 NSF	-	152 NSF	-
2ND FLOOR - UNIT 205	2-BDRM	718 NSF	718 NSF	100 NSF	112 NSF	150 NSF	82 NSF
2ND FLOOR - UNIT 206	2-BDRM	788 NSF	872 GSF	138 NSF	68 NSF	152 NSF	194 NSF
2ND FLOOR - UNIT 207	2-BDRM	748 NSF	826 GSF	110 NSF	41 NSF	170 NSF	106 NSF
2ND FLOOR - UNIT 208	2-BDRM-ADA	733 NSF	779 GSF	150 NSF	106 NSF	166 NSF	156 NSF
2ND FLOOR - UNIT 209	2-BDRM	786 NSF	857 GSF	127 NSF	106 NSF	185 NSF	124 NSF
3RD FLOOR - UNIT 301	2-BDRM	784 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
3RD FLOOR - UNIT 302	1-BDRM	713 NSF	760 GSF	137 NSF	64 NSF	160 NSF	-
3RD FLOOR - UNIT 303	2-BDRM	744 NSF	884 GSF	182 NSF	53 NSF	124 NSF	154 NSF
3RD FLOOR - UNIT 304	1-BDRM - H/V	615 NSF	716 GSF	152 NSF	53 NSF	200 NSF	-
3RD FLOOR - UNIT 305	2-BDRM	716 NSF	842 GSF	104 NSF	115 NSF	150 NSF	85 NSF
3RD FLOOR - UNIT 306	2-BDRM	788 NSF	872 GSF	148 NSF	68 NSF	137 NSF	194 NSF
3RD FLOOR - UNIT 307	2-BDRM	764 NSF	844 GSF	110 NSF	41 NSF	170 NSF	106 NSF
3RD FLOOR - UNIT 308	1-BDRM	713 NSF	760 GSF	150 NSF	54 NSF	160 NSF	-
3RD FLOOR - UNIT 309	2-BDRM	786 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
4TH FLOOR - UNIT 401	2-BDRM	784 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
4TH FLOOR - UNIT 402	1-BDRM	713 NSF	760 GSF	137 NSF	64 NSF	160 NSF	-
4TH FLOOR - UNIT 403	2-BDRM	811 NSF	884 GSF	182 NSF	53 NSF	124 NSF	154 NSF
4TH FLOOR - UNIT 404	1-BDRM - H/V	648 NSF	747 GSF	152 NSF	53 NSF	200 NSF	-
4TH FLOOR - UNIT 405	1-BDRM	482 NSF	533 GSF	122 NSF	-	170 NSF	-
4TH FLOOR - UNIT 406	2-BDRM	788 NSF	872 GSF	148 NSF	68 NSF	137 NSF	194 NSF
4TH FLOOR - UNIT 407	2-BDRM	764 NSF	844 GSF	110 NSF	41 NSF	170 NSF	106 NSF
4TH FLOOR - UNIT 408	1-BDRM	713 NSF	760 GSF	150 NSF	54 NSF	160 NSF	-
4TH FLOOR - UNIT 409	2-BDRM	786 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
5TH FLOOR - UNIT 501	2-BDRM	784 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
5TH FLOOR - UNIT 502	1-BDRM	713 NSF	760 GSF	137 NSF	64 NSF	160 NSF	-
5TH FLOOR - UNIT 503	2-BDRM	811 NSF	884 GSF	182 NSF	53 NSF	124 NSF	154 NSF
5TH FLOOR - UNIT 504	1-BDRM	648 NSF	747 GSF	152 NSF	53 NSF	200 NSF	-
5TH FLOOR - UNIT 505	1-BDRM	482 NSF	533 GSF	122 NSF	-	170 NSF	-
5TH FLOOR - UNIT 506	2-BDRM	788 NSF	872 GSF	148 NSF	68 NSF	137 NSF	194 NSF
5TH FLOOR - UNIT 507	2-BDRM	764 NSF	844 GSF	110 NSF	41 NSF	168 NSF	106 NSF
5TH FLOOR - UNIT 508	1-BDRM	713 NSF	760 GSF	150 NSF	54 NSF	160 NSF	-
5TH FLOOR - UNIT 509	2-BDRM	786 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
6TH FLOOR - UNIT 601	2-BDRM	848 NSF	947 GSF	124 NSF	63 NSF	226 NSF	173 NSF
6TH FLOOR - UNIT 602	2-BDRM	771 NSF	877 GSF	130 NSF	58 NSF	178 NSF	132 NSF
6TH FLOOR - UNIT 603	1-BDRM	446 NSF	502 GSF	123 NSF	-	158 NSF	-
6TH FLOOR - UNIT 604	2-BDRM	817 NSF	847 GSF	138 NSF	75 NSF	203 NSF	132 NSF
6TH FLOOR - UNIT 605	2-BDRM	920 NSF	1,000 GSF	124 NSF	63 NSF	226 NSF	173 NSF

BLDG FLRS: GROSS AREAS	
BASEMENT	10,204 S.F.
1ST FLOOR	9,722 S.F.
2ND FLOOR	9,713 S.F.
3RD FLOOR	9,713 S.F.
4TH FLOOR	9,442 S.F.
5TH FLOOR	9,442 S.F.
6TH FLOOR	6,164 S.F.
TOTAL BUILDING AREA:	64,410 S.F.

APPLICABLE DESIGN CODES:	
IBC 2018	INTERNATIONAL BUILDING CODE 2018
IEBC 2018	*CHAPTER 11 AND APPENDIX E TO FOLLOW IBC 2021
IECC 2018	INTERNATIONAL EXISTING BUILDING CODE 2018
	*ACCESSIBILITY PROVISIONS OF 2018 IEBC AND APPENDIX B
	INTERNATIONAL ENERGY CONSERVATION CODE 2018
	*SECTIONS R202 (INSULATED SIDING), R402.2.4, R402.2.8, TABLE R402.4.1, AND TABLE R402.1.3 OF IECC 2018
IFC 2018	INTERNATIONAL FIRE CODE 2018
	*SECTION 202, AND VARIOUS CHAPTER 9 SECTIONS OF IFC 2015
IFGC 2018	INTERNATIONAL FUEL GAS CODE 2018
IMC 2018	INTERNATIONAL MECHANICAL CODE 2018
	*SECTION 507.2 OF THE IMC 2018
ACPC 2022	2022 Article XV Allegheny County Plumbing Code
NEC 2008	NATIONAL ELECTRIC CODE 2008, NFPA 70-2008
ICC/ANSI A117-2017	ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES - ICC-A117.1

TYPE OF SPECIAL INSPECTION OR OBSERVATION	NAME AND ADDRESS OF INDIVIDUAL AND/OR FIRM PERFORMING INSPECTION OR OBSERVATION	CREDENTIALS (INCLUDE ACRONYM INDICATING BASIS OF COMPETENCY TO PERFORM WORK)
FABRICATOR INSPECTION	ARCHITECTURAL CONCEPTS, PC 626 WEST LINCOLN HWY. EDIN, PA 15841	ARCHITECTURAL CONCEPTS PERSONNEL OBSERVING CONSTRUCTION IS A LICENSED "PA"
INSPECTION OF CONCRETE CONSTRUCTION	QUALITY CONTROL TESTING AGENCY TO BE CONTRACTED BY OWNER	TESTING AGENCY CERTIFICATIONS WILL INCLUDE: ACI, AMS, ASNT, AND PE
INSPECTION OF MASONRY CONSTRUCTION	QUALITY CONTROL TESTING AGENCY TO BE CONTRACTED BY OWNER	TESTING AGENCY CERTIFICATIONS WILL INCLUDE: ACI, AMS, ASNT, AND PE
INSPECTION OF STEEL CONSTRUCTION	QUALITY CONTROL TESTING AGENCY TO BE CONTRACTED BY OWNER	TESTING AGENCY CERTIFICATIONS WILL INCLUDE: ACI, AMS, ASNT, AND PE
INSPECTION OF SOILS CONDITIONS	QUALITY CONTROL TESTING AGENCY TO BE CONTRACTED BY OWNER	TESTING AGENCY CERTIFICATIONS WILL INCLUDE: ACI, AMS, ASNT, AND PE

ACRONYMS INCLUDE:
ACI - AMERICAN CONCRETE INSTITUTE CERTIFIED CONCRETE FIELD TESTING TECHNICIAN
AMS - AMERICAN HOLDING SOCIETY OF NON-DESTRUCTIVE TESTING
ASNT - AMERICAN SOCIETY OF NON-DESTRUCTIVE TESTING
ASCI - ASSOCIATION OF WALL AND CEILING INDUSTRIES
MCA - MODEL CODE AGENCY (ICC, BOCA, SBCI, ICBO) SPECIAL INSPECTION CERTIFICATION
PA - PROFESSIONAL ARCHITECT (CURRENTLY LICENSED)
PE - PROFESSIONAL ENGINEER (CURRENTLY LICENSED)
OTHER - SPECIALIZED TRAINING COURSEWORK OR OTHER BASIS FOR COMPETENCY DEEMED ACCEPTABLE.

SPECIAL INSPECTIONS AND OBSERVATIONS

AREA CALCULATIONS

BASEMENT LEVEL	FIRST FLOOR	SECOND FLOOR
OVERALL: 10,208 gsf -- UNITS: 4,203 gsf 3,867 nsf ELEV/STAIRS/ 2,627 gsf 2,267 nsf CORRIDOR: TRASH ROOM: 86 gsf 72 nsf COMMUNITY ROOM: 978 gsf 900 nsf MAINTENANCE SHOP: 262 gsf 213 nsf BICYCLERESIDENT 458 gsf 404 nsf STORAGE: ELEC / MECH: 1,246 gsf 895 nsf HIC TOILET: 68 gsf 51 nsf HIC TOILET: 68 gsf 51 nsf	OVERALL: 9,722 gsf -- UNITS: 6,387 gsf 5,687 nsf ELEV/STAIRS/ 2,547 gsf 2,185 nsf CORRIDOR: TRASH ROOM: 74 gsf 65 nsf ELECTRICAL ROOM: 127 gsf 95 nsf TOILET ROOM: 52 gsf 47 nsf OFFICE: 137 gsf 115 nsf LAUNDRY: 218 gsf 196 nsf MANAGER'S OFFICE: 171 gsf 154 nsf	OVERALL: 9,713 gsf -- UNITS: 7,031 gsf 6,418 nsf ELEV/STAIRS/ 2,331 gsf 2,014 nsf CORRIDOR: TRASH ROOM: 145 gsf 116 nsf ELECTRICAL ROOM: 206 gsf 160 nsf
THIRD FLOOR	FOURTH FLOOR	FIFTH FLOOR
OVERALL: 9,713 gsf -- UNITS: 7,397 gsf 6,733 nsf ELEV/STAIRS/ 2,071 gsf 1,770 nsf CORRIDOR: TRASH ROOM: 145 gsf 116 nsf ELECTRICAL ROOM: 100 gsf 57 nsf	OVERALL: 9,441 gsf -- UNITS: 7,119 gsf 6,489 nsf ELEV/STAIRS/ 2,572 gsf 2,117 nsf CORRIDOR: TRASH ROOM: 145 gsf 116 nsf ELECTRICAL ROOM: 87 gsf 72 nsf	OVERALL: 9,441 gsf -- UNITS: 7,119 gsf 6,489 nsf ELEV/STAIRS/ 2,090 gsf 1,775 nsf CORRIDOR: TRASH ROOM: 145 gsf 116 nsf ELECTRICAL ROOM: 87 gsf 72 nsf
SIXTH FLOOR	ELEVATOR PENTHOUSE	
OVERALL: 6,168 gsf -- UNITS: 4,273 gsf 3,852 nsf ELEV/STAIRS/ 1,332 gsf 1,170 nsf CORRIDOR: TRASH ROOM: 57 gsf 116 nsf SERVICE CORRIDOR: 99 gsf 57 nsf	OVERALL: 535 gsf -- ELEVATOR 535 gsf 374 nsf PENTHOUSE:	

ZONING DATA

LOCAL NEIGHBORHOOD COMMERCIAL (LNC) City of Pittsburgh, Pennsylvania - Zoning Ordinances				
Building Parcel: Off-Street Parking Parcel(s): Off-Street parking Parcel: *Subject Property directly abuts Residential District to the East & opposite side of Sidney Street to the North Intent to convert building from existing 54-Unit Multi-Suite Residential to 62-Unit Multi-Unit Residential (Market Rate Apartments)	12-F-309 12-F-274 12-G-225 12-F-358	Existing Multi-Suite Residential Existing Open Lot Existing Open Lot	54-Units 19-Spaces 29-Spaces 8-Spaces	
DESCRIPTION	REQUIRED	PROPOSED	VARIANCE	ORDINANCE SECTION
Local Neighborhood Commercial (LNC):				
Primary Uses	Multi-unit Residential	Permitted		Table 911.02
Site Development Standards	Required in LNC where adjacent to Residential Districts			904.02.B.2
Minimum Net Lot Area	0 Acres	Verify per ALTA Survey		904.02.C
maximum Floor Area ratio	2:1	Existing		904.02.C
Maximum Lot Coverage	90%	Verify per ALTA Survey		904.02.C
Minimum Front Building Setback	None Required	Existing - None Provided		904.02.C
Minimum Rear Setback (when not adjacent to a way)	20 feet	Not Applicable		904.02.C
Minimum Rear Setback (when adjacent to a way)	None Required	Existing - None Provided		904.02.C
Minimum Exterior Sideyard Setback	None Required	Existing - Varies		904.02.C
Minimum Interior Sideyard Setback	None Required	Existing - Varies		904.02.C
Maximum Building Height (excluding parapet walls)	45 feet (3-stories max)	Existing non-conforming (6-stories)		904.02.C
Multi-Unit Residential (Special Requirements): No special requirements listed for Multi-Unit Residential in "LNC" District				911.04.A.85
Accessory Structures: The Following accessory uses, activities and structures shall be permitted by-right in non-residential districts:				912.03
- Dumpsters - Fences and Retaining Walls - Off-street parking Areas - Other necessary and customary uses determined by the Zoning Administrator to be appropriate, incidental & subordinate to the primary use on the lot				
PARKING LOADING AND ACCESS: Off-street parking and loading facilities shall be provided for any change of occupancy or manner of operation that would, based on parking schedules A or B (Sec.914.02.A and Sec.914.02.B) or the off-street Loading Schedule of Sec.914.10, result in a requirement for more parking or loading spaces than the existing or more recent use. Additional parking or loading spaces shall be required only in proportion to the extent of the change, not for the entire building or use.				
Schedule A - Multi-Unit Residential	Minimum 1 space / Unit (54 proposed units)			914.02.A
Bicycle Parking	Incentive to reduce car-related congestion in the City			914.05
Locations and Facilities:	- Area to be well-lighted - Bicycle Parking to be as conveniently located with Car parking - Bicycle parking shall not interfere with accessible paths of travel - Bicycle racks shall be located in highly visible areas to minimize theft 1 per 3 dwelling units or a fraction thereof (18 required) 30% max. of the total required spaces (20 proposed)			914.05.B 914.05.D 914.05.E.2
Bicycle parking Requirement (Multi-Unit Residential):				
Street Parking Reduction for Bicycle parking				
PARKING FOR PERSONS WITH DISABILITIES Number of Spaces (51 to 75 spaces required):				
	3 ADA spaces required	Will provide 3 spaces		914.06.A
Minimum ADA Parking Space Size	8 feet x 19 feet	Will Comply		914.06.B
Minimum ADA Access Aisle Width	5 feet	Will Comply		914.06.B
* Parking Access aisles shall be part of an accessible route into the building. parking spaces and access aisles shall be level with surface slopes not exceeding 1:50 (two (2) percent) in all directions.				
Location of spaces:	Accessible parking spaces shall be located on the shortest accessible route of travel from adjacent parking to an accessible entrance. - Off-site parking shall be located no more than 1000 feet from the primary entrance of the building served - Off-site parking shall be considered accessory uses of the primary uses that the parking is intended to serve.			914.06.C 914.07.G.2a
Special Exceptions (Off-Site Parking):				
Parking Stall dimensional Standards				914.09.H
Minimum Parking Space Size (90 Degree Parking)	8.5 feet x 19 feet	Existing to be verified		914.09.H.1
Minimum Two-Way Aisle Width (90 Degree Parking)	24 feet	Existing to be verified		914.09.H.1
Bumper Overhang (90 Degree Parking)	2.5 feet	Existing to be verified		914.09.H.1
* Existing parking in open lot on parcels 12-F-274 and 12-F-296 is angled parking at less than 90 Degree Parking. Stall dimensions to be verified to determine conformance to the Parking Standard.				
Off-Street Loading (50,001 to 80,000 sf floor area)	1 required	1 Existing provided on street		914.10.A
*Existing loading zone to be verified to determine conformance to the Loading Standard.				
Residential Compatibility Standards:				
Building Height and Setback Standards	Shall apply in all development in non-residential base zoning districts when such development is located across the street or adjacent to a property that is zoned R1D, R1A, R2, R3, or H			916.01.B.1
Exemptions	Where an existing building or structural alteration does not increase the building's square footage or height it shall be exempt from compliance with the Residential Compatibility Standards			916.01.C
* The property is "Existing non-conforming" due to adjacent residential zoning district to the east of the property and the residential zoning district across Sidney street to the north. Proposed renovations do not anticipate increase to the building square footage or height so the exemption would apply. If additions or increase in building height are considered a Zoning review will be scheduled to determine required variances.				

OWNER



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BSEG

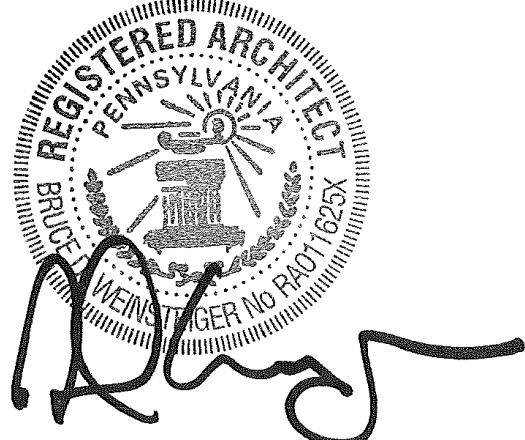
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PROJECT

**CARSON SQUARE
APARTMENTS**
PHFA#: TC2024-118

RENOVATIONS

2112 SIDNEY STREET
PITTSBURGH, PENNSYLVANIA
15203

REVISIONS

No.	Date	Revision

Sheet Title:

BUILDING DATA AND ZONING

Issue Phase:

ZONING SUBMITTAL

Issue Date:

APRIL 11, 2025

Drawing Scale:

AS NOTED

Drawing Path:

23-069 CARSON SQUARE APARTMENTS

Drawn By:

R. THOMPSON

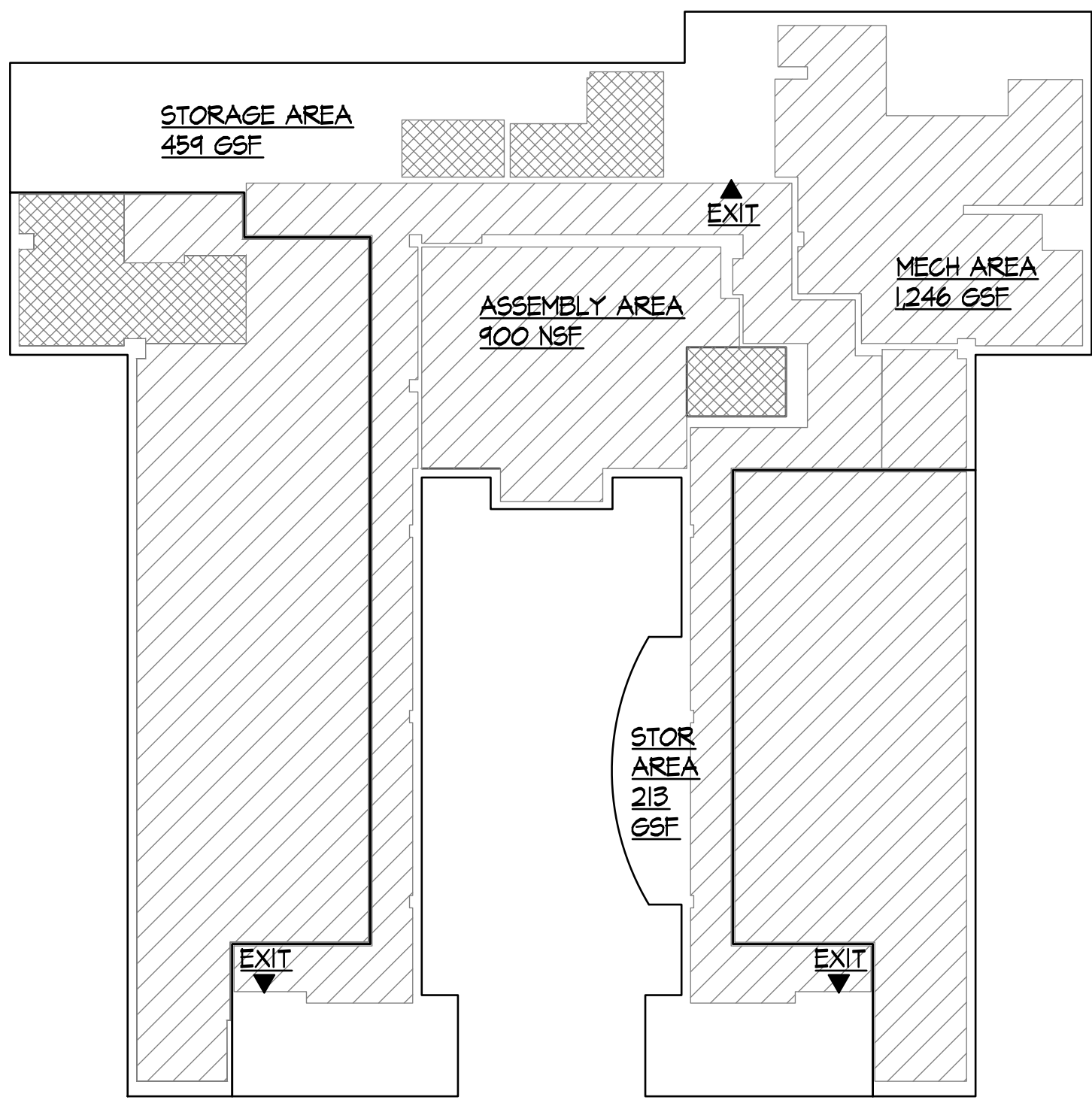
Reviewed By:

B. WEINSTEIGER, AIA

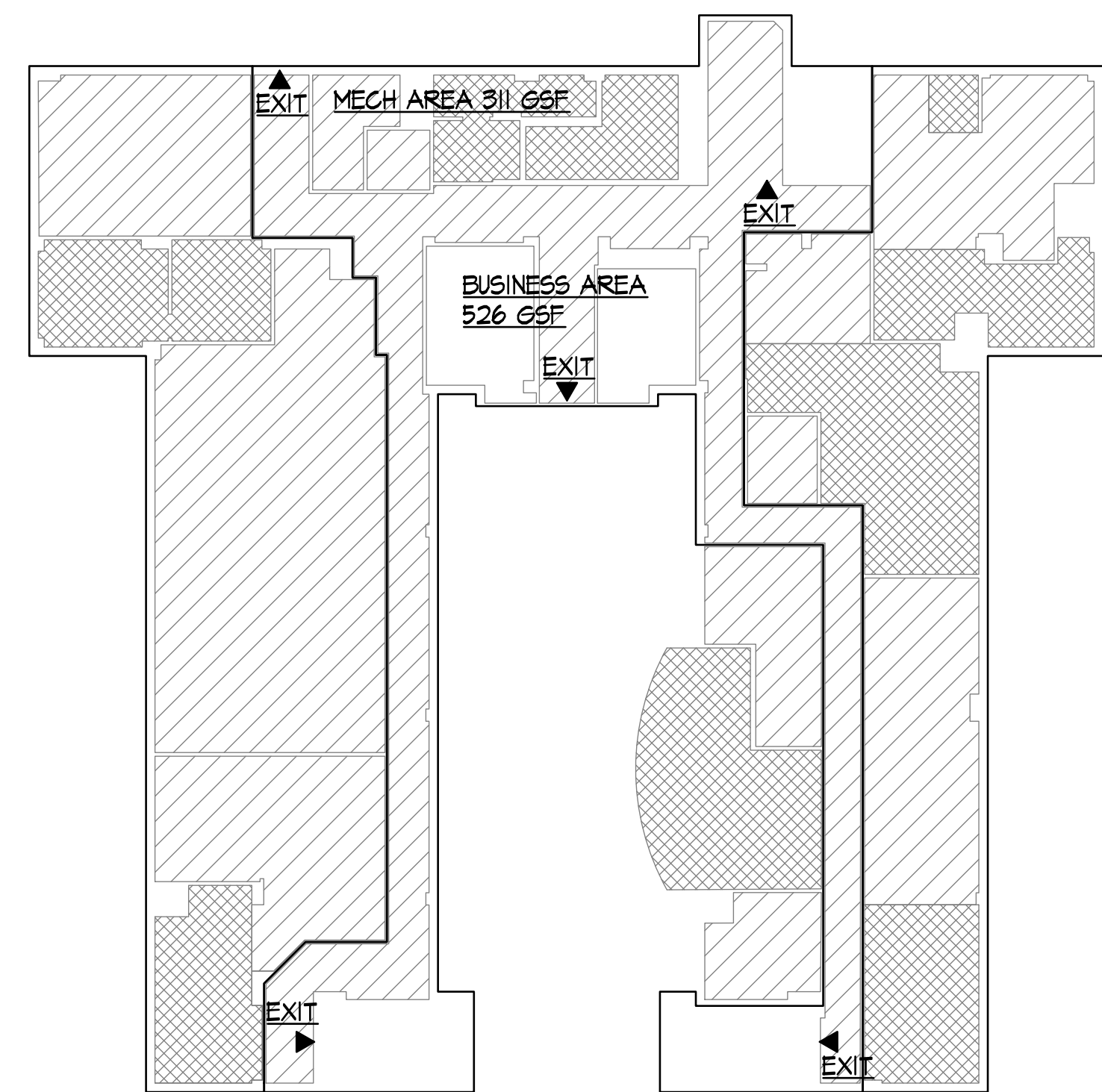
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23-069

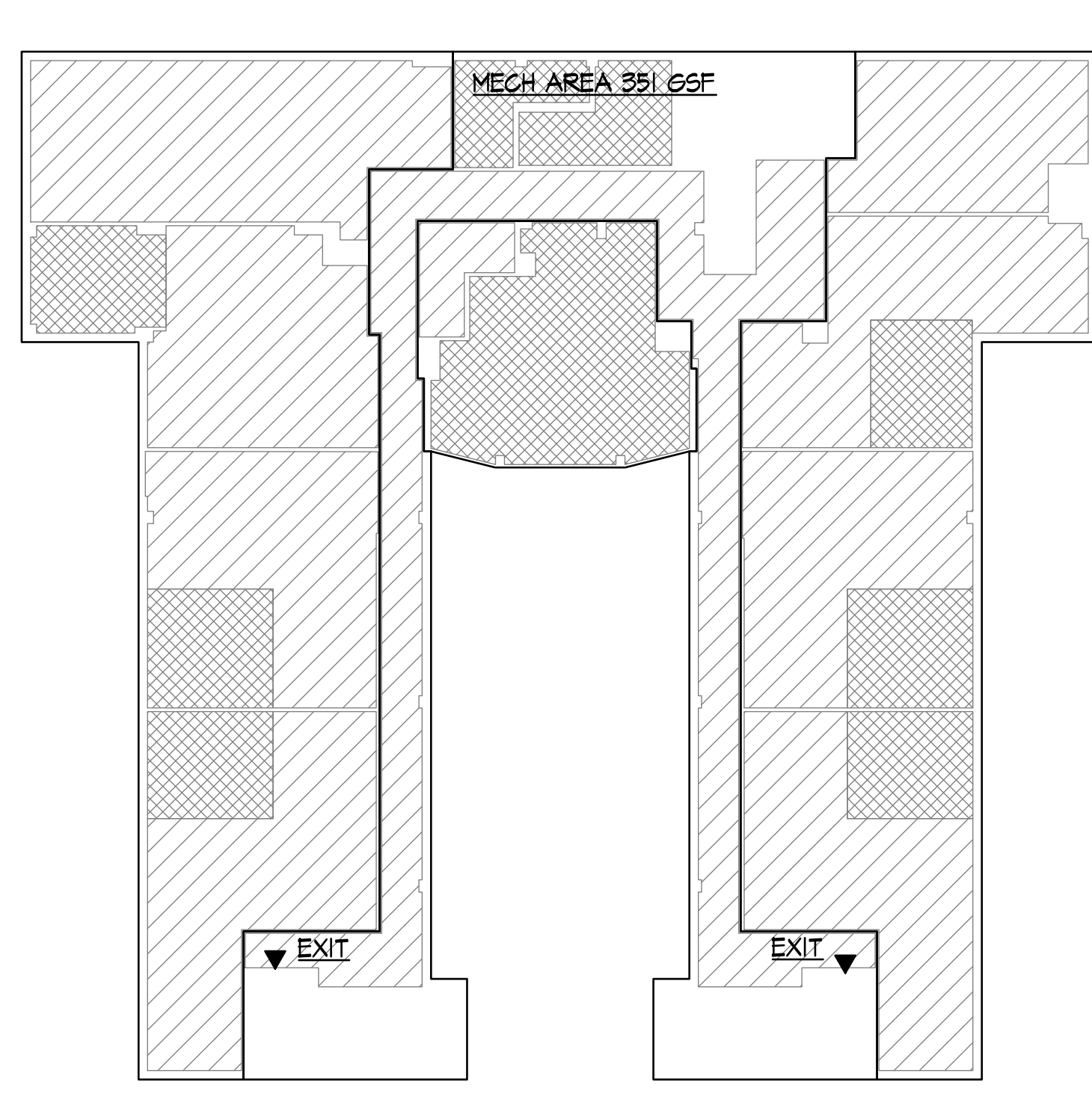
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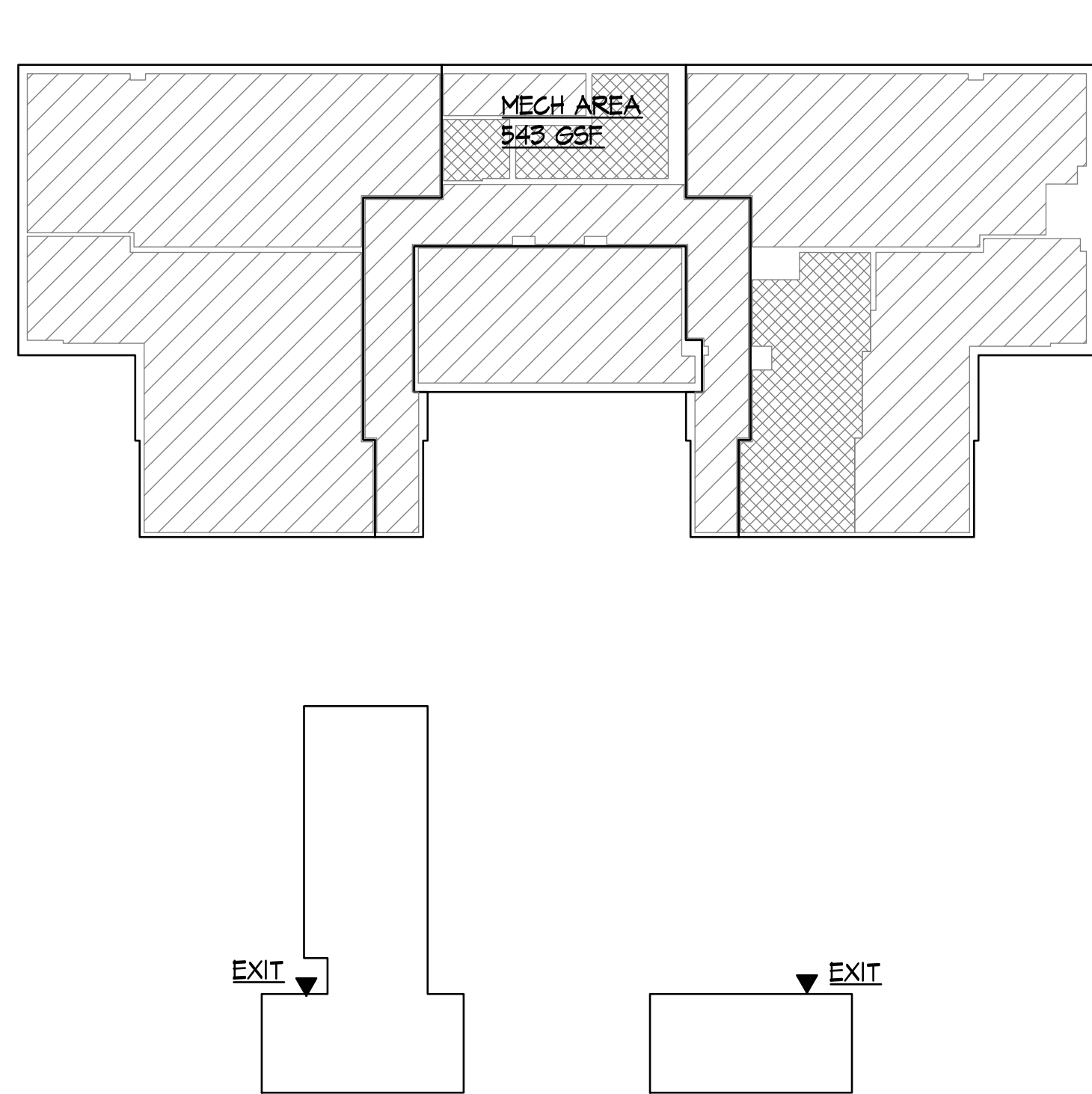
1 GROUND FLOOR PLAN (BASEMENT)
SCALE: 1/16" = 1'-0"
OCCUPANT LOAD (BASEMENT):
MECH/STORAGE = 9 PP
ASSEMBLY (UNCONCENTRATED) = 46 PP
RESIDENTIAL (4,203 GSF) = 21 PP
TOTAL (BASEMENT) = 76 PP



2 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"
OCCUPANT LOAD (FIRST FLOOR):
MECH/STORAGE = 2 PP
BUSINESS AREAS = 6 PP
RESIDENTIAL (6,281 GSF) = 32 PP
TOTAL (FIRST FLOOR) = 40 PP



3 TYPICAL FLOOR PLAN - FLOORS 2-5
SCALE: 1/16" = 1'-0"
OCCUPANT LOAD (TYP FLOORS 2-5):
MECH/STORAGE = 2 PP
RESIDENTIAL (1,241 GSF MAX. @ 3RD) = 31 PP
TOTAL (TYP FLOORS 2-5) = 33 PP



4 SIXTH FLOOR PLAN
SCALE: 1/16" = 1'-0"
OCCUPANT LOAD (SIXTH FLOOR):
MECH/STORAGE = 2 PP
RESIDENTIAL (4,273 GSF) = 22 PP
TOTAL (SIXTH FLOOR) = 24 PP

2018 INTERNATIONAL EXISTING BUILDING CODE			
PROVISIONS FOR ALL COMPLIANCE METHODS - CHAPTER 3: ACCESSIBILITY			
TITLE	REFERENCE	ALLOWABLE OR REQUIRED	COMMENTS OR PROVIDED
ACCESSIBILITY	305.6	ALTERATIONS SHALL COMPLY WITH CHAPTER II OF THE IBC UNLESS TECHNICALLY INFEASIBLE	TYPE B UNITS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS WHERE WORK AREA IS LESS THAN 50 PERCENT OF THE AGGREGATE AREA OF THE BUILDING
ENTRANCES	305.8.1	ACCESSIBLE ENTRANCE REQ'D	EXISTING NON-COMPLIANT ENTRANCE RAMP TO THE BUILDING WILL BE REPLACED WITH A FULLY COMPLIANT ACCESSIBLE RAMP MEETING REQUIREMENTS OF ICC AIT.1
ELEVATORS	305.8.2	ALTERED ELEMENTS OF EXISTING ELEVATORS SHALL COMPLY W/ ASME A17.1 AND ICC AIT.1	A COMPLETE ELEVATOR MODERNIZATION MEETING THE REQUIREMENTS OF ASME A17.1 AND ICC AIT.1 IS INCLUDED IN THE SCOPE OF WORK
PLATFORM LIFTS	305.8.3	PERMITTED TO BE INSTALLED	NOT APPLICABLE
RAMPS	305.8.5	1:10 TO 1:8 = 3" MAX RISE 1:12 TO 1:10 = 6" MAX RISE	EXISTING NON-COMPLIANT ENTRANCE RAMP TO THE BUILDING WILL BE REPLACED WITH A FULLY COMPLIANT ACCESSIBLE RAMP MEETING REQUIREMENTS OF ICC AIT.1
ACCESSIBLE DWELLING OR SLEEPING UNITS	305.8.6	MUST COMPLY WITH SECTION 1107 OF IBC	ONLY DWELLING UNITS BEING ALTERED SHALL COMPLY WITH IBC SEC 1107
TYPE A UNITS	305.8.7	WHERE > 20 UNITS ALTERED, REQUIREMENTS OF SECTION 1107 APPLY ONLY TO QUANTITY OF SPACES BEING ALTERED	SCOPE OF WORK INCLUDES SIX (6) NEW TYPE A DWELLING UNITS. THESE UNITS SHALL COMPLY WITH SECTION 1107 OF THE IBC
TYPE B UNITS	305.8.8	WHERE GROUP R-2 DWELLING UNITS ARE BEING ALTERED	THE REQUIREMENTS OF IBC SECTION 1107 FOR TYPE B UNITS APPLIES ONLY TO THE QUANTITY OF UNITS OR SPACES BEING ALTERED
JURY BOXES AND WITNESS STANDS	305.8.9	NOT REQ'D IF ACCESSIBLE ROUTE CREATES MEANS OF EGRESS HAZARD	NOT APPLICABLE
TOILET ROOMS	305.8.10	AT INACCESSIBLE TOILET ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST FAMILY OR ASSISTED USE TOILET ROOM SHALL BE PROVIDED	INTENT TO PROVIDE DIRECTIONAL SIGNAGE TO BASEMENT LEVEL PUBLIC TOILET ROOMS. SIGNAGE WILL MEET THE REQUIREMENTS OF ICC AIT.1
DRESSING, FITTING, AND LOCKER ROOMS	305.8.12	WHERE TECHNICALLY INFEASIBLE TO MAKE ACCESSIBLE, A SEPARATE ROOM SHALL BE PROVIDED	NOT APPLICABLE
FUEL DISPENSERS	305.8.13	54" AFF MAX FROM VEHICLE WAY	NOT APPLICABLE
THRESHOLDS	305.8.14	3/4" BEVELED MAX	ALL THRESHOLDS ARE COMPLIANT
CLASSIFICATION OF WORK - CHAPTER 6			
TITLE	REFERENCE	ALLOWABLE OR REQUIRED	COMMENTS OR PROVIDED
CLASSIFICATION OF WORK	ALTERATION - LEVEL 1	602.1	REMOVAL AND REPLACEMENT OF EXISTING COVERING MATERIALS, ELEMENTS AND EQUIPMENT
CLASSIFICATION OF WORK	ALTERATION - LEVEL 2	603.1	RECONFIGURATION OF SPACE, ADDITION OR ELIMINATION OF DOOR WINDOW SYSTEM EQUIP.
WORK AREA COMPLIANCE METHOD - CHAPTER 7: ALTERATIONS - LEVEL 1			
TITLE	REFERENCE	ALLOWABLE OR REQUIRED	COMMENTS OR PROVIDED
INTERIOR FINISHES	702.1	MUST MEET IBC 2018 - TABLE 805.13 (R-2 SPRINKLERED)	EXIT ENCLOSURES AND EXIT PASSAGEWAYS + C CORRIDORS
FLOOR FINISHES	702.2	MUST MEET IBC 2018 - SECTION 804	GLASS II OR PILL TEST COMPLIANT
INTERIOR TRIM	702.3	MUST MEET IBC 2018 - SECTION 806	ALL NEW TRIM MUST MEET CURRENT CODE AND TESTING REQUIREMENTS
WINDOW OPENING CONTROL DEVICES IN R-2 DWELLINGS	702.4	REQUIRED WHERE AN EXISTING WINDOW IS REPLACED	NO EXISTING WINDOWS ARE SCHEDULED TO BE REPLACED. WILL COMPLY FOR NEW WINDOWS.
MATERIALS AND METHODS	702.6	ALL NEW WORK MUST COMPLY WITH CURRENT CODES, AS APPLICABLE	ALL NEW WORK MUST MEET CURRENT CODE AND TESTING REQUIREMENTS
FIRE PROTECTION	703.1	MAINTAIN LEVEL OF PROTECTION PROVIDED	ALL WORK MAINTAINS THE CURRENT LEVEL OF PROTECTION PROVIDED
MEANS OF EGRESS	704.1	REPAIRS INSURE LEVEL OF PROTECTION PROVIDED	ALL WORK MAINTAINS THE CURRENT LEVEL OF PROTECTION PROVIDED
RE-ROOFING	705.1	RE-ROOFING COVERINGS COMPLY WITH CH. 15 OF IBC	EXCEPTION 1: ROOF REPLACEMENT IS NOT REQUIRED TO MEET 2% SLOPE REQUIREMENT EXCEPTION 2: ROOF REPLACEMENT IS NOT REQUIRED TO MEET REQUIREMENT FOR SECONDARY OVERFLOW DRAINS
STRUCTURAL	707.1	STRUCTURAL ROOF COMPONENTS SHALL BE CAPABLE OF SUPPORTING REPLACEMENT OF EQUIPMENT	NO STRUCTURAL IMPLICATIONS ANTICIPATED
ENERGY CONSERVATION	708.1	EXISTING BUILDING NOT REQUIRED TO COMPLY WITH IECC	LEVEL 1 ALTERATIONS DO NOT REQUIRE THE ENTIRE BUILDING TO COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

GENERAL NOTES:

- THIS WORK IS DESIGNED TO BE IN COMPLIANCE WITH IEBC 2018.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS, LAWS, RULES, REGULATIONS, AND ORDINANCES OF FEDERAL, STATE, COUNTY, OR AUTHORITIES RELATING THERETO. NO WORK SHALL BEGIN AT THE SITE UNTIL APPLICABLE APPROVALS AND REQUIRED PERMITS HAVE BEEN OBTAINED. COVERING SUCH WORK, SUBCONTRACTORS ARE TO VERIFY AND ASSURE PROPER CODE COMPLIANCE FOR ALL ASPECTS OF CONSTRUCTION WITHIN THE RESPECTIVE TRADES. PERMITS TO BE PART OF WORK.
- THE BUILDING, FACILITY OR ELEMENT THAT IS ALTERED SHALL COMPLY WITH THE APPLICABLE PROVISIONS IN SECTIONS 305.6 THROUGH 305.8.14 OF THE IEBC, CHAPTER II OF THE IBC AND ICC AIT.1 UNLESS IT IS TECHNICALLY INFEASIBLE. IF INFEASIBLE, THE ALTERATIONS SHALL PROVIDE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE.
- THE SCOPE OF THE PROJECT INCLUDES ALL WORK SHOWN OR REASONABLY INFERRED ON THE DRAWINGS AND SPECIFICATIONS TO BE PERFORMED BY THE GENERAL CONTRACTOR AND QUALIFIED SUBCONTRACTORS. THE WORK CONSISTS OF ALL LABOR, MATERIAL, AND SUPERVISION REQUIRED BY THESE DRAWINGS.
- A) AT ALL TIMES PROTECT THE PROPERTY OF THE OWNER AND ADJOINING PROPERTIES;
B) VERIFY AND/OR ESTABLISH ALL DIMENSIONS, ELEVATIONS AND CONDITIONS IN THE FIELD AND BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE STARTING THE WORK.
C) PROTECT AND STORE ALL FIXTURES, HARDWARE, ETC. AS WELL AS EQUIPMENT SPECIFIED HEREIN FOR THE DURATION OF THE JOB.
D) COORDINATE WITH LOCAL UTILITIES, INCLUDING UNDERGROUND SERVICES, FOR WATER DRAINAGE, GAS, ELECTRICAL SERVICES, ETC. FOR APPLICABLE CONNECTIONS AS MAY BE REQUIRED.
E) BE HELD TO HAVE EXAMINED THE JOB SITE TO BECOME FAMILIAR WITH AND BE SATISFIED AS TO THE CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE IN PERFORMING THE WORK.
F) SHALL REVIEW SHOP DRAWINGS. ANY DRAWINGS THE GC DEEMS NECESSARY TO BE SUBMITTED FOR ARCHITECT'S REVIEW AND APPROVAL. SHALL BEAR THE GC'S SHOP DRAWING APPROVAL STAMP INDICATING THAT ALL DIMENSIONS AND ASSEMBLY OF COMPONENTS HAVE BEEN REVIEWED BY THE GC WITH EACH RESPECTIVE TRADE FOR COMPLIANCE WITH THE PROJECT REQUIREMENTS.
G) OBTAIN ALL PERMITS REQUIRED FOR THE COMPLETION OF THE WORK AND ALL SHALL CONFORM TO THE REGULATIONS AND REQUIREMENT OF THE AUTHORITIES HAVING JURISDICTION.
- DO NOT SCALE DRAWINGS. LARGE DETAILS TAKE PRECEDENT OVER SMALLER SCALED DRAWINGS AND WRITTEN DIMENSIONS TAKE PRECEDENT OVER GRAPHICS. NOTIFY THE ARCHITECT IN CASE OF DISCREPANCIES OR FOR CLARIFICATIONS BEFORE PROCEEDING WITH THE WORK.
- INTERIOR DIMENSIONS ARE TO FINISHED SURFACE UNLESS NOTED OTHERWISE.
- THE WORK CONSISTS OF ALL LABOR, MATERIAL AND SUPERVISION REQUIRED BY THESE DRAWINGS.
- INSTALL ALL MATERIALS PER MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS, SPECIFICATIONS AND RECOMMENDATIONS UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED.
- CONTRACTOR CARE IS TO BE TAKEN TO INSURE THAT RATED PARTITIONS AND OTHER ASSEMBLIES POSITIVELY SEAL AT ALL CONDUIT, DUCTWORK, PIPING OR ANY OTHER PENETRATIONS.
- NO PRODUCTS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED ON THIS PROJECT OR USED DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN MET. SUBCONTRACTOR SHALL PROJECT TO THE GENERAL CONTRACTOR THAT NO ASBESTOS OR HAZARDOUS PRODUCTS ARE USED IN THEIR WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK, AND CONTRACTOR SHALL BE RESPONSIBLE FOR SAME.

LEGEND:

- NO WORK THIS AREA
- ALTERATION LEVEL 1
- ALTERATION LEVEL 2 (LESS THAN 50% OF FLOOR)

IEBC 2018 EXISTING BUILDING CODE:

- USE GROUP: - R-2 RESIDENTIAL
BUILDING AREA - 64,410 SF TOTAL
BUILDING HEIGHT - 6 STORIES, < 75'-0"
SECTION 602.1.602.2 - LEVEL 1 + 2 ALTERATIONS (SEE DRAWING A005)

**ASME A17.1-2000 CODE REQUIREMENTS:
FA ELEVATOR PLAN REVIEW & INSPECTION REQUIREMENTS**

- ALL REPAIRS, REPLACEMENT AND ALTERATIONS OF ELEVATORS SHALL COMPLY WITH THE APPLICABLE SECTION OF THE ASME A17.1-2000 (INCLUDING THE A17.1a-2002 APPENDIX A) LISTED BELOW:
SECTION 8.6.2 (REPAIRS)
SECTION 8.6.3 (REPLACEMENTS)
SECTION 8.7 (ALTERATIONS)
- AN APPROVED ELEVATOR PERMIT MUST BE OBTAINED BEFORE AN ALTERATION, REPLACEMENT, OR REPAIR IS MADE TO AN ELEVATOR OR LIFTING DEVICE.

SCOPE OF WORK:

- THE EXISTING 6-STORY OCCUPIED BUILDING IS APPROXIMATELY 64,410 SF TOTAL. THE EXISTING CONSTRUCTION TYPE IS 2-A
THE BUILDING USE IS R-2, MULTI-FAMILY APARTMENTS. THE BUILDING CONTAINS 54 UNITS.
THE PROPOSED RENOVATIONS INCLUDE: RENOVATIONS TO ACCESSIBLE UNITS TO PROVIDE ADA COMPLIANCE TO THE MAXIMUM EXTENT POSSIBLE, SELECTIVE REPLACEMENT OF FINISHES AND LIGHTING FIXTURES, SELECTIVE REPLACEMENT OF FINISHES, REPLACEMENT OF ROOF AND ROOF INSULATION, MODERNIZATION OF 2 ELECTRIC TRACTION ELEVATORS, AND REPAIRS TO PUBLIC WALKS AND PARKING.

DEMOLITION NOTES

- ALL AREAS DESIGNATED BY DASHED LINES TO BE REMOVED. THE CONTRACTOR SHALL VERIFY THESE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
- ALL AREAS AND PARTITIONS NOT DASHED OR NOTED TO BE REMOVED SHALL STAY IN TACT. PATCH AND REPAIR WALLS AS REQUIRED AFTER DEMOLITION IN ACCORDANCE WITH PROPOSED RENOVATIONS.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR OTHER SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF ELEMENTS TO BE DEMOLISHED AND ADJACENT WORK TO REMAIN.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT WATER LEAKAGE DOES NOT DAMAGE THE STRUCTURE.
- LOCATE AND IDENTIFY EXISTING UTILITIES AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND HARDWARE DURING CONSTRUCTION AND DEMOLITION PHASES.
- DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTURES TO REMAIN USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS; DO NOT USE POWER-DRIVEN IMPACT TOOLS.
- DISPERSE DEMOLITION EQUIPMENT THROUGHOUT STRUCTURE AND PROMPTLY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- COMPLETELY FILL AND COMPACT BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. PROVIDE FILL CONSISTING OF APPROVED EARTH, GRAVEL, OR SAND, FREE OF TRASH AND DEBRIS, STONES OVER 6-INCHES IN DIAMETER, ROOTS, OR OTHER ORGANIC MATTER.
- REMOVE FROM BUILDING SITE DEBRIS, TRASH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE.
- IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE.
- STORE ITEMS TO BE RELOCATED. CARE SHALL BE TAKEN NOT TO DAMAGE ANY MATERIALS. COORDINATE RELOCATION OF EXISTING MATERIALS WITH DRAWINGS AND WITH THE OWNER.
- COORDINATE ALL DEMOLITION WITH OWNER AND OTHER TRADES. CONFIRM THE EXTENT, TIMING, AND ITEMS TO BE SALVAGED BY OWNER. CONTRACTOR SHALL SCHEDULE WORK SO AS NOT TO UNDULY INTERFERE WITH OWNER'S ONGOING OPERATIONS.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING SERVICES TO BE RE-USED, TEMPORARILY DISCONNECT EQUIPMENT AND PROTECT UNTIL REINSTALLED. COORDINATE WITH NEW WORK.

WORK AREA COMPLIANCE METHOD CHAPTER 8: ALTERATIONS - LEVEL 2			
TITLE	REFERENCE	ALLOWABLE OR REQUIRED	COMMENTS OR PROVIDED
COMPLIANCE	801.3	ALL NEW ELEMENTS SHALL COMPLY WITH IBC 2018	EXCEPT: LIGHT AND VENTILATION REQ. OF WINDOWS, ELEC EQUIPMENT PER 801, DEAD ENDS PER 805.6, AND CEILING HEIGHTS OF 7'-0"
BUILDING ELEMENTS AND MATERIALS	802.2(1) 802.2(1.2)	30 MIN x 3 STORIES 2 HOUR IF FULLY SPRINKLERED	NOT APPLICABLE
VERTICAL OPENINGS	802.2.2	ALL ENCLOSURES MUST BE PROTECTED IF WORK AREA > 50%	NOT APPLICABLE
SUPPLEMENTAL ENCLOSURE REQ'TS	802.2.3	ALL STAIRWAYS MUST BE ENCLOSED WITH SMOKE-TIGHT CONSTRUCTION IF WORK AREA > 50%	STAIRWAYS ARE FULLY ENCLOSED - NOT APPLICABLE
SUPPLEMENTAL STAIRWAY REQ'TS	802.3	1-2 OCCUPANCY - REQUIRED	NOT APPLICABLE
SMOKE COMPARTMENTS	802.4	ALL FINISHES MUST MEET IBC 2018 EXISTING FINISHES MAY BE TREATED WITH AN APPROVED FIRE-RETARDANT COATING.	EXIT ENCLOSURES AND EXIT PASSAGEWAYS + C CORRIDORS + C ROOMS AND ENCLOSED SPACES + C
INTERIOR FINISH	802.5	REQUIRED IN LOCATIONS PER IBC	ALL BALCONIES + LOADING DOCKS WILL REPAIR, REPLACE OR PROVIDE CODE COMPLIANT GUARDS
GUARDS	805.2.2	REQUIRED IF SHARED EXIT OR > 50' ABOVE OR BELOW EXIT DISCHARGE	EXIST BLDG- FULLY SPRINKLERED - SYSTEM WILL BE ALTERED AS REQ'D TO MAINTAIN COMPLIANCE
FIRE PROTECTION	805.3	REQUIRED IF SHARED EXIT OR > 50' ABOVE OR BELOW EXIT DISCHARGE	EXIST SYSTEM INCLUDES STANDPIPES - SYSTEM WILL BE ALTERED AS REQ'D TO MAINTAIN COMPLIANCE
STANDPIPES	805.4.1.6	REQUIRED IN R-2 WORK AREAS	EXISTING FIRE ALARM SYSTEM TO REMAIN. NEW APPLIANCES AND DEVICES TO CONNECT TO EXISTING SYSTEM
FIRE ALARM SYSTEM	805.4.3	SLEEPING UNITS AND DWELLING UNITS IN WORK AREAS	EXISTING SMOKE DETECTORS TO REMAIN - ALTERATIONS WILL COMPLY W/ INTERNATIONAL FIRE CODE
SMOKE ALARMS	804.1	WORK AREAS IN GROUP R OCCUPANCIES	CARBON MONOXIDE DETECTORS REQUIRED IN ACCORDANCE WITH SECTION 1103.9.1 OF THE IFB
CARBON MONOXIDE DETECTION	805.2	MEANS OF EGRESS SHALL COMPLY	EXCEPTION TO ALLOW PER COMPLIANCE OF IN-PLACE "MEANS OF EGRESS" DURING ORIGINAL CONST.
MEANS OF EGRESS	805.3	PER IBC 2018, 1-500 OCCUPANTS PER STORY = 2 EXITS REQUIRED	TWO EXITS EXISTING
NUMBER OF EXITS	805.4.1	2 EXITS REQ'D FROM WORK AREA WHEN > 50 PERSONS WHEN > 75'-0" TO EXIT	TWO EXISTING EGRESS DOORWAYS PROVIDED
MEANS OF EGRESS	805.4.2	DIRECTION OF TRAVEL WHEN > 50 PERSONS	ALL DOORS SWING IN DIRECTION OF TRAVEL WHERE REQUIRED
DOOR SWING	805.4.3	ALL DOORS ON EXIT PASSAGEWAYS OR EXIT STAIRS SHALL BE SELF OR AUTOMATICALLY CLOSING	ALL DOORS WILL BE SELF OR AUTOMATICALLY CLOSING WHERE REQUIRED
DOOR CLOSING	805.4.4	A OCCUPANCIES > 100 REQUIRED PANIC HARDWARE	ALL DOORS WILL BE EQUIPPED WITH PANIC HARDWARE WHERE REQUIRED
PANIC HARDWARE	805.5.1	DOORS IN WORK AREA SHALL NOT HAVE LOUVERS OR BE HOLLOW CORE WOOD + BE SELF CLOSING	NEW AND EXISTING DWELLING UNIT CORRIDOR DOORS WILL MEET REQUIREMENT OF 805.5.1 AND EXCEPTION 3 (RESIST SMOKE, BE REASONABLY TIGHT FITTING AND NOT CONTAIN LOUVERS).
CORRIDOR DOORS	805.6	35'-0" MAX OR MAX ALLOWED BY IBC = 50' MAX	NOT APPLICABLE - NO DEAD ENDS PROPOSED
DEAD END CORRIDORS	805.7	REQUIRED IN WORK AREAS PER IBC	COMMON AREA EXISTING EGRESS LIGHTING COMPLIES
MEANS OF EGRESS LIGHTING	805.8	REQUIRED IN WORK AREAS PER IBC	COMMON AREA EXISTING AND PROPOSED NEW EXIT SIGNS WILL COMPLY
EXIT SIGNS	805.9	REQUIRED ON ALL EXIT STAIRS FROM WORK AREA ON AT LEAST ONE SIDE	NEW AND EXISTING HANDRAILS WILL COMPLY
HANDRAILS	805.11	REQUIRED ON ALL EXIT STAIRS FROM WORK AREA AT LOCATIONS PER IBC	NEW AND EXISTING GUARDRAILS WILL COMPLY
GUARDRAILS	806.1	2 STRUCTURAL ELEMENTS THAT ARE ALTERED OR ADDED SHALL COMPLY WITH IBC 4 ALTERATIONS SHALL NOT REDUCE CAPACITY OF EXISTING GRAVITY LOAD CARRYING ELEMENTS 5 ALTERATIONS SHALL NOT EXCEED 10% GREATER LATERAL DEMAND CAPACITY RATIO	NO ALTERATIONS TO STRUCTURAL ELEMENTS ARE PROPOSED NO NEW STRUCTURAL ELEMENTS REQUIRED
STRUCTURAL	807.1	ALL NEW WORK RELATED TO WORK AREA SHALL BE PER NFPA TO EXCEPT PER SECTION 801.3	SEE ELECTRICAL DRAWINGS FOR COMPLIANCE
ELECTRICAL	808.1	ALL RECONFIGURED SPACES SHALL BE PROVIDED WITH VENTILATION PER IMC.	SEE MECHANICAL DRAWINGS FOR COMPLIANCE
MECHANICAL	809.1	PROVIDE FIXTURES PER IPC IF INCREASE IN OCCUPANT LOAD > 20%	NO INCREASE IN OCCUPANCY LOADS EXISTING PLUMBING QUANTITIES ARE ACCEPTABLE
PLUMBING	810.1	BUILDING COMPLIANCE WITH IECC RESTRICTED TO ALTERED ELEMENTS ONLY	ALTERED ELEMENTS WILL COMPLY WITH THE INTERNATIONAL ENERGY CONSERVATION CODE
ENERGY CONSERVATION			

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PROJECT

CARSON SQUARE APARTMENTS
PHFA#: TC2024-118

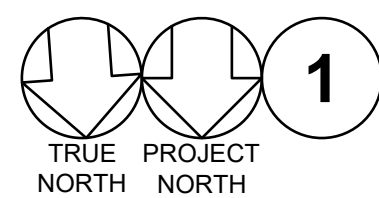
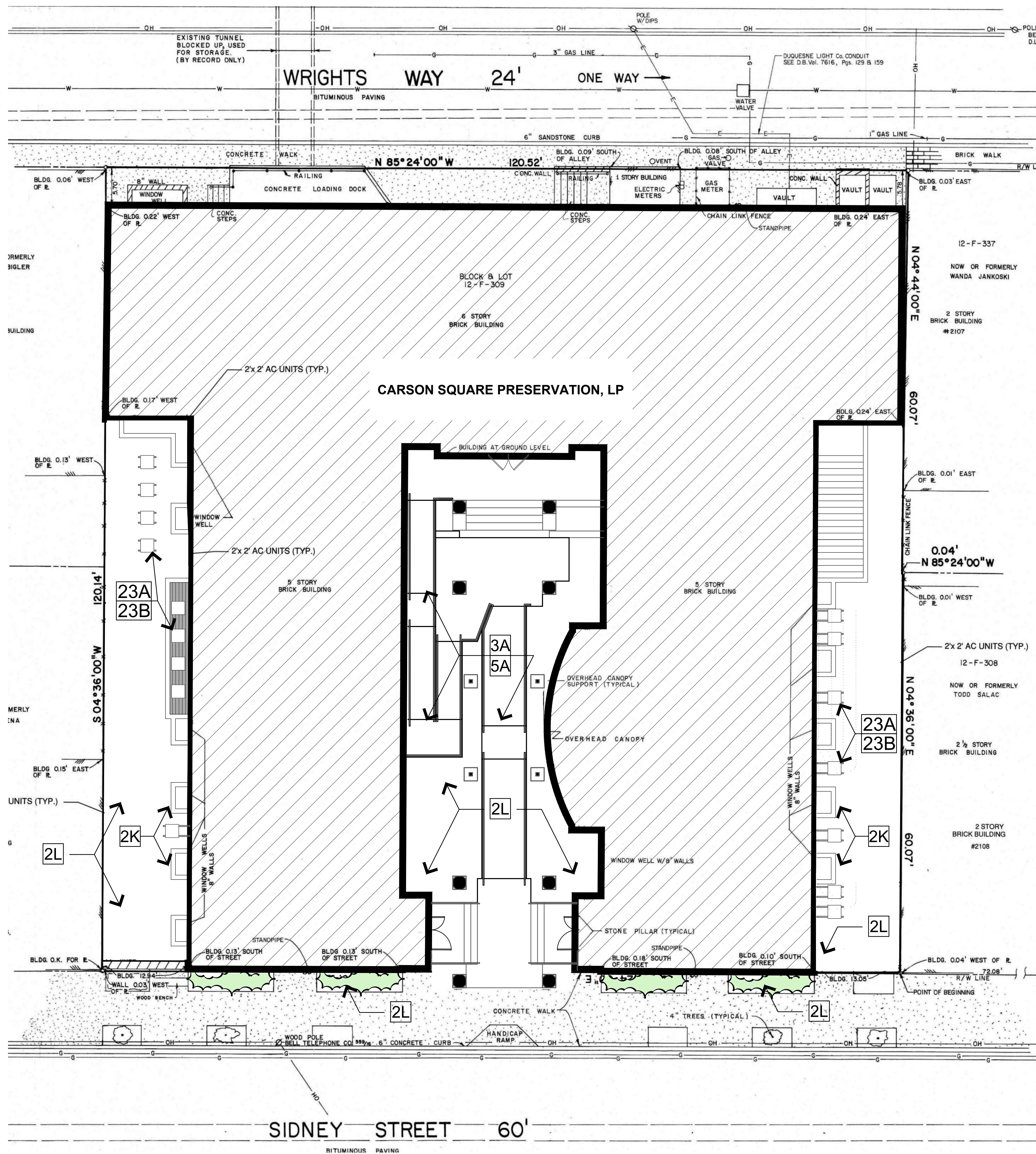
RENOVATIONS
2112 SIDNEY STREET
PITTSBURGH, PENNSYLVANIA 15203

REVISIONS

No.	Date	Revision

CODE REVIEW SHEET

Issue Phase:	ZONING SUBMITTAL
Issue Date:	APRIL 11, 2025
Drawing Scale:	AS NOTED
Drawing Path:	23-069 CARSON SQUARE APARTMENTS
Drawn By:	R. THOMPSON
Reviewed By:	B. WEINSTEIGER, AIA
Project Number:	23-069
Drawing No.	A006
File Name:	
Plot Scale:	1:1
Paper Size:	30" x 42"



1212 SIDNEY STREET APARTMENT BUILDING (LOT & BLOCK # 12-F-309)

SCALE: 1/8" = 1'-0"

SITE PLAN BASED ON ALTA/NSPS LAND TITLE SURVEY C-13199-0007 - REVISED 4/11/2018

PARKING:

EXISTING PARKING SPACES (THIS LOT) = 0 SPACES
TOTAL PARKING REQUIRED FOR 54 UNIT RESIDENTIAL APARTMENT BUILDING = 54 SPACES.

- 14,469.06 SF OR 0.332 ACRE PARCEL
- ALL SITE UTILITIES ARE EXISTING TO REMAIN

SITE IMPROVEMENTS, ROADS, AND WALKS:

- MILL AND OVERLAY NEW ASPHALT PAVING SEAL AND RE-STRIPE PARKING LOTS. RE-STRIPE SHALL COMPLY WITH ANSI A111, SECTION 502, AS WELL AS ALL LOCAL ORDINANCES (SEE NOTES 2B THRU 2F).
- INTENT TO RE-LOCATE ADA COMPLIANT PARKING SPACES FROM THE SIDNEY STREET PARKING LOT TO THE 22ND STREET PARKING LOT TO FACILITATE ADA COMPLIANT ROUTE UTILIZING PUBLIC SIDEWALKS TO THE BUILDING ENTRANCE (SEE NOTES 2B THRU 2F).
- RE-STRIPE PARKING SPACES IN SIDNEY STREET LOT FOR NEW LAYOUT TO PROVIDE FIVE (5) STANDARD PARKING SPACES.
- RE-STRIPE PARKING SPACES IN 22ND STREET LOT FOR NEW LAYOUT TO INCLUDE THREE (3) ADA COMPLIANT PARKING SPACES (INCLUDING ONE (1) VAN ACCESSIBLE PARKING SPACE). INCLUDE STRIPING FOR COMPLIANT ACCESS AISLES TO THE PUBLIC SIDEWALK. PROVIDE ADA COMPLIANT SIGNAGE.
- INSTALL NEW HANDICAP PARKING IDENTIFICATION SIGN THAT INCLUDES THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY". SIGNS SHALL BE 60" MINIMUM ABOVE THE FLOOR OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN (SEE 2/5P-3)
- NEW ACCESS AISLE STRIPING TO MEET THE REQUIREMENTS OF ANSI A111, SECTION 502; AISLE WIDTH TO BE 5'-0" AND SHALL EXTEND FOR THE FULL LENGTH OF THE PARKING SPACES THEY SERVE. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM; USE PAINTED LINES.
- RE-SET EXISTING WHEEL STOPS IN LOCATIONS AS SHOWN (TYP) AND PROVIDE NEW WHEEL STOPS AS REQUIRED TO ENSURE 1 PER SPACE. ANCHOR IN PLACE WITH #4 BAR (TYP).
- EXISTING TREE TO REMAIN. PRUNE AS REQUIRED.
- EXISTING COMPACT HEDGE TO REMAIN. PRUNE AND INFILL AS REQUIRED.
- CLEAN OUT EXISTING BASEMENT WINDOW AREAWAY(S). REPAIR AND CLEAN WINDOWS AS NECESSARY. INSPECT EXISTING STEEL GRATES. REPAIR OR REPLACE AS NECESSARY.
- PROVIDE NEW LANDSCAPING FOR COURTYARD TO INFILL AREAS AROUND NEW ADA COMPLIANT RAMPS. G.C. PROVIDE DELEGATED DESIGN OF LANDSCAPING, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

CONCRETE:

- REMOVE EXISTING NON-COMPLIANT RAMPS AT BUILDING COURTYARD. PROVIDE NEW ADA COMPLIANT RAMPS TO MEET THE REQUIREMENTS OF ANSI A111 TO CREATE ACCESSIBLE ROUTE FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. G.C. TO PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN FOR NEW RAMPS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.
 - PATCH AND REPAIR EXISTING CONCRETE CURB AND SIDEWALK ON NORTH SIDE OF EXISTING PARKING LOT ADJACENT TO FOX WAY.
- #### MASONRY:
- SAW-CUT EXISTING MASONRY "GARDEN WALL", REMOVE AND DISPOSE SECTION AS INDICATED ON PLANS & ELEVATIONS. INFILL SOIL TO LEVEL GRADE AT NEW OPENING.
 - REFER TO ELEVATIONS FOR SCOPE OF FACADE REPAIRS, INCLUDING POWER WASHING BUILDING EXTERIOR, BRICK MASONRY RE-POINTING, CONTROL JOINT, AND SEALANT JOINT WORK. REPAIR / REPLACE STEEL LINTELS, FLASHING, AND SILLS.
 - SAW-CUT MASONRY VENEER AND CAVITY WALL TO ACCOMMODATE INSTALLATION OF NEW ALUMINUM FRAMED DOUBLE-HUNG WINDOW IN UNIT 104. PROVIDE NEW STEEL LINTEL, THRU-WALL FLASHING, AND MASONRY SILL T.M.E. WINDOW TO INCLUDE OPENING LIMITING DEVICE. USE BRICK FROM DEMO TO TOOTH-IN FINISH BRICK AT PERIMETER OF NEW OPENING (REFERENCE NOTE 8C).
 - CLEAN, PREP AND REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES TO REMAIN, AND ALL NEW STEEL DOORS AND HOLLOW METAL DOOR FRAMES.
- #### METALS:
- PROVIDE "SLEEVE" MOUNTED GUARD RAILS WITH NEW 42" HIGH GALVANIZED GUARD RAIL WITH 1/2-INCH SQUARE BAR STOCK BALUSTERS @ 4-INCHES O.C. W/ HIGH PERFORMANCE FINISH. G.C. PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN OF GUARDRAILS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.
- #### ROOFING:
- REPLACE EXISTING ROOF SYSTEM IN AREAS INDICATED ON DRAWINGS WITH NEW TPO OR EPDM MEMBRANE ROOFING SYSTEM WITH ANODIZED ALUMINUM COPINGS (PER DRAWINGS AND SPECIFICATIONS).

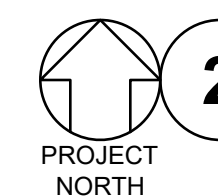
MECHANICAL:

- REPLACE SPLIT-SYSTEM AIR-CONDITIONER CONDENSER UNIT(S). REPLACE LINE-SETS WHERE INDICATED (SEE MECHANICAL DRAWINGS). RECOVER ALL REFRIGERANT IN A LEGAL MANNER, DISCONNECT EXISTING CONDENSER ELECTRIC AND CONNECT NEW CONDENSER UNIT (SEE ELECTRICAL DWGS).
- RE-USE EXISTING STEEL BUILDING MOUNTED BRACKETS AND GROUND MOUNTED STEEL FRAMES FOR SUPPORT OF NEW CONDENSER UNITS.
- PROVIDE MECHANICAL UPGRADES TO ELEVATOR PENTHOUSE AS REQUIRED TO ACCOMMODATE ELEVATOR MODERNIZATION.
- PROVIDE MECHANICAL UPGRADES TO ACCOMMODATE INSTALLATION OF NEW COMMUNITY ROOM KITCHEN.
- REPAIR COMMON AREA HVAC SYSTEMS AS NECESSARY.
- INSTALL EXTERIOR KITCHEN AND BATH EXHAUST SYSTEM AT ALL APARTMENT UNITS.

GENERAL NOTE:

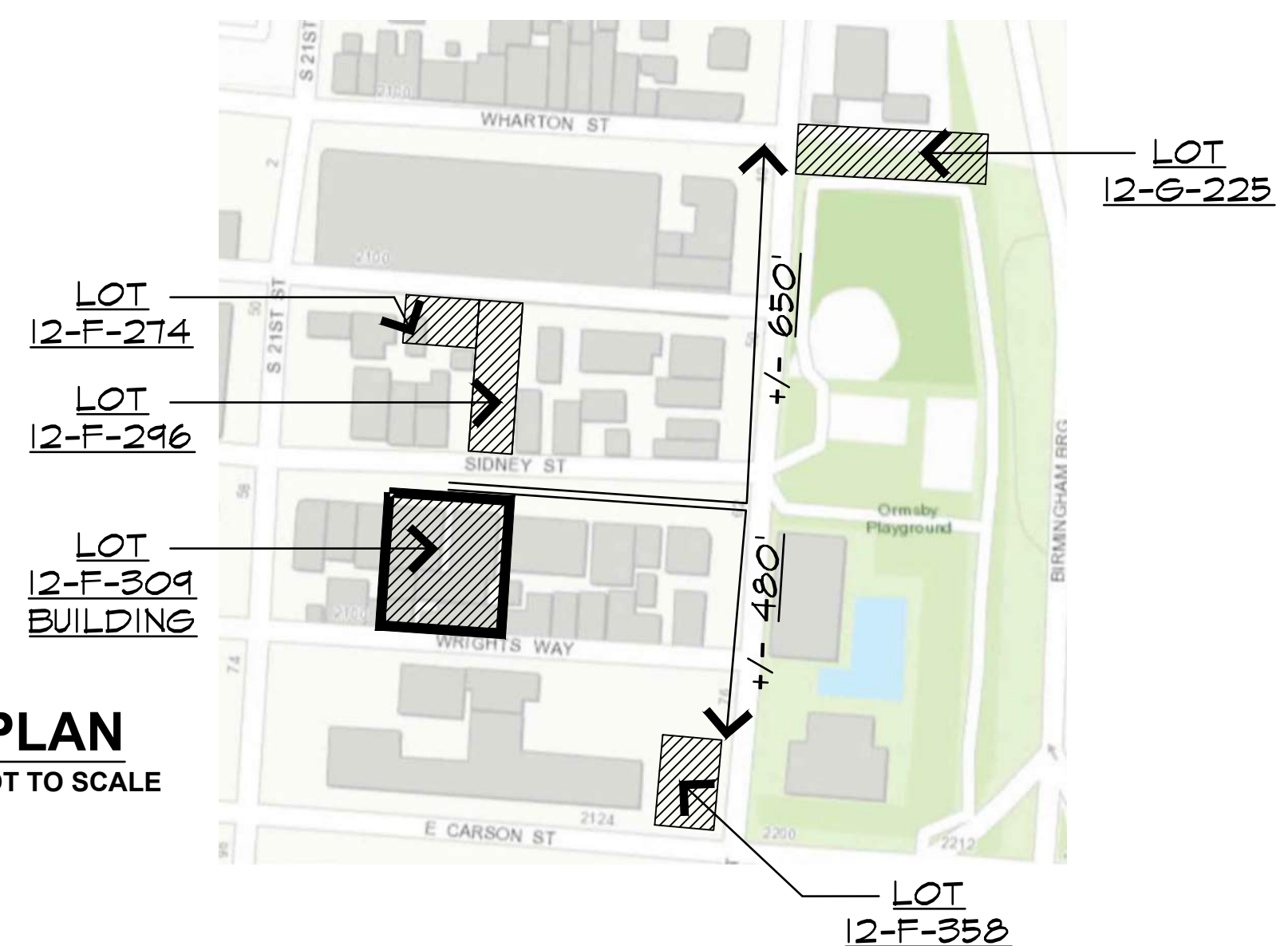
PROJECT SCOPE INCLUDES RENOVATION OF 54 MULTI-FAMILY APARTMENT UNITS. PROPOSED RENOVATIONS INCLUDE:

- MINOR FACADE REPAIRS
- REPLACE EXISTING NON-COMPLIANT ENTRANCE RAMP WITH NEW ADA COMPLIANT ENTRANCE RAMP.
- MODERNIZE ELEVATORS INCLUDING NEW CAB FINISHES.
- REPLACE EXISTING ROOF WITH NEW TPO MEMBRANE ROOFING SYSTEM.
- REPLACE APARTMENT UNIT SPLIT-SYSTEM A/C UNITS
- REPLACE BUILDING CENTRAL HOT WATER HEATERS & STORAGE TANK.
- RENOVATE FOUR (4) EXISTING TYPE "A" ADA APARTMENT UNITS.
- PROVIDE HEARING / VISION SIGNALING EQUIPMENT TO TWO (2) ADDITIONAL APARTMENT UNITS.
- REPLACE COMMON AREA INTERIOR AND EXTERIOR DOORS, FRAMES, AND HARDWARE.
- REPLACE APARTMENT UNIT ENTRY DOORS, FRAMES AND HARDWARE.
- REPAIR WALLS AND REPAINT BUILDING INTERIORS.
- PROVIDE NEW FINISH FLOORING IN COMMON AREAS.
- PROVIDE NEW FINISH FLOORING IN APARTMENT UNITS
- ADD KITCHEN TO COMMUNITY ROOM.
- REPLACE KITCHEN CABINETS IN SELECT APARTMENT UNITS
- PROVIDE NEW SOLID SURFACE COUNTERTOPS AND SINK IN ALL APARTMENT UNITS
- PROVIDE NEW KITCHEN APPLIANCES THROUGHOUT
- IMPLEMENT ENTERPRISE GREEN COMMUNITIES-2020 REQUIREMENTS



2 KEY PLAN

SCALE: NOT TO SCALE

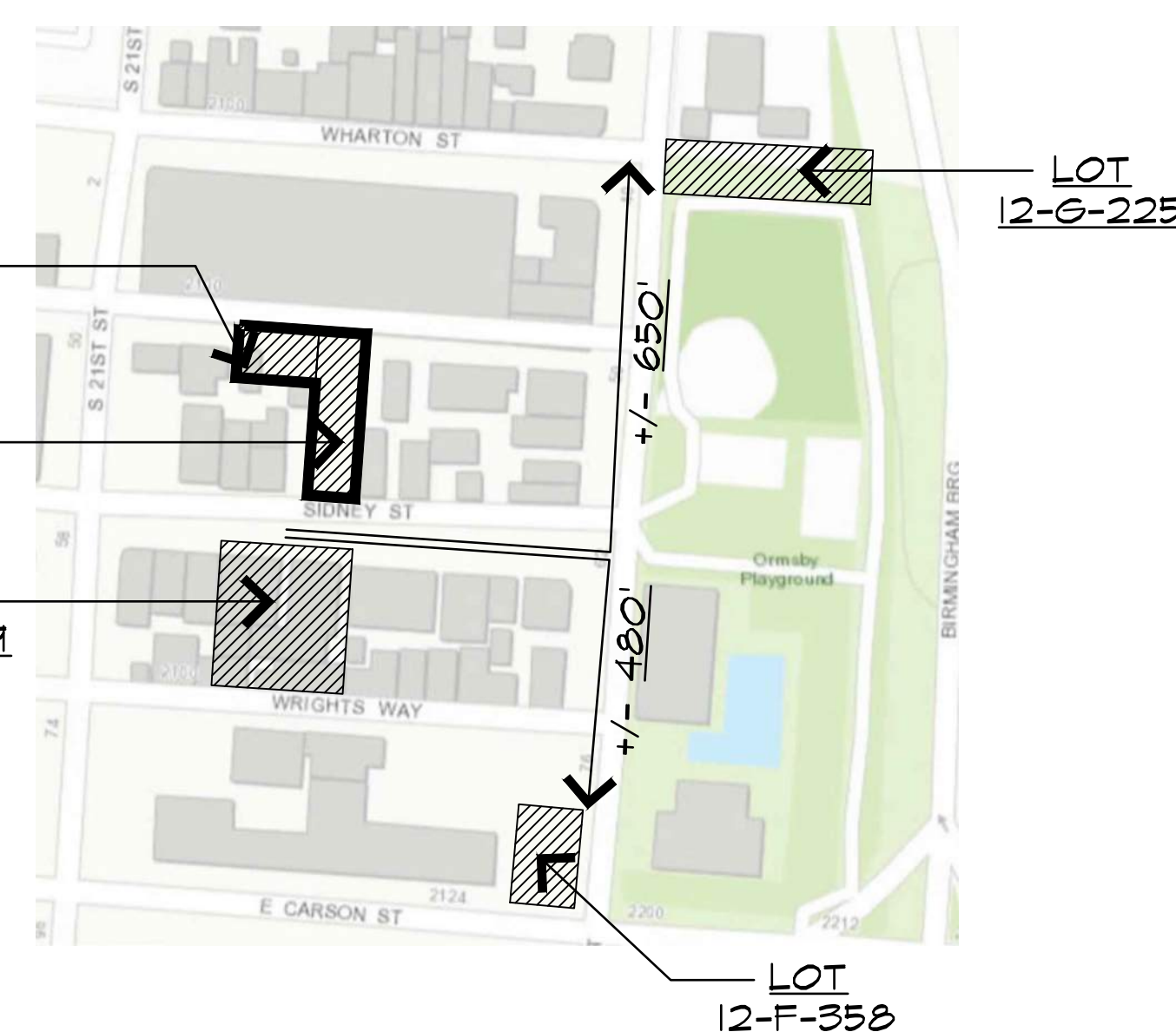


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CARSON SQUARE APARTMENTS PHFA#: TC2024-118		
RENOVATIONS 2112 SIDNEY STREET PITTSBURGH, PENNSYLVANIA 15203		
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23-069 CARSON SQUARE APARTMENTS		
Drawn By:		
R. THOMPSON		
Revised By:		
B. WEINSTEIN, AIA		
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1:1		
Paper Size:		
30" x 42"		
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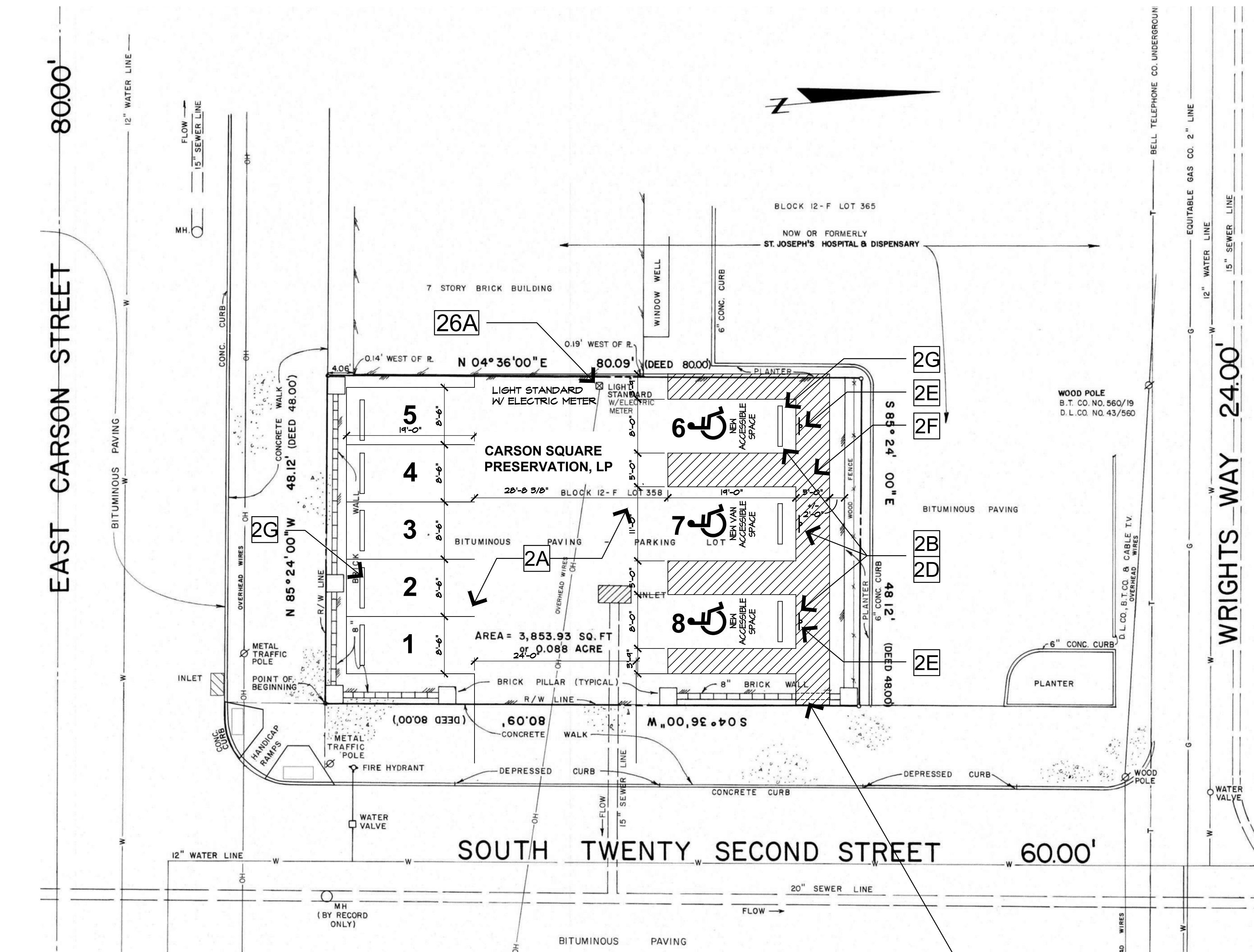


- 26A** REPLACE EXISTING SITE LIGHTING FIXTURE(S) WITH NEW LED FIXTURES (SEE ELECTRICAL DRAWINGS).
- 26B** PROVIDE ELECTRICAL UPGRADES TO ELEVATOR PENTHOUSE AS REQUIRED TO ACCOMMODATE ELEVATOR MODERNIZATION.
- 26C** PROVIDE ELECTRICAL UPGRADES TO NEW ACCOMMODATE INSTALLATION OF NEW COMMUNITY ROOM KITCHEN.
- 26D** RELOCATE SWITCHES, OUTLETS AND CEILING MOUNTED LIGHT FIXTURES AS REQUIRED TO ACCOMMODATE RE-LOCATED WALLS AND DOORS.
- 26E** UPGRADE BUILDING "WIFI" INFRASTRUCTURE (SEE ELECTRICAL DRAWINGS AND COORDINATE WITH OWNER'S LOW-VOLTAGE COMMUNICATIONS VENDOR).
- 26F** UPGRADE COMMON AREA LIGHTING FIXTURES THAT ARE NOT ALREADY FLUORESCENT OR LED LAMPED.
- 26G** INSTALL NEW ACCESS CONTROL SYSTEM AT COMMON AREAS (SEE ELECTRICAL DRAWINGS AND COORDINATE WITH OWNER'S SECURITY VENDOR).

- MINOR FACADE REPAIRS
- REPLACE EXISTING NON-COMPLIANT ENTRANCE RAMP WITH NEW ADA COMPLIANT ENTRANCE RAMP.
- MODERNIZE ELEVATORS INCLUDING NEW CAB FINISHES.
- REPLACE EXISTING ROOF WITH NEW TPO MEMBRANE ROOFING SYSTEM.
- REPLACE APARTMENT UNIT SPLIT-SYSTEM A/C UNITS
- REPLACE BUILDING CENTRAL HOT WATER HEATERS & STORAGE TANK.
- RENOVATE FOUR (4) EXISTING TYPE "A" ADA APARTMENT UNITS.
- PROVIDE HEARING / VISION SIGNALING EQUIPMENT TO TWO (2) ADDITIONAL APARTMENT UNITS.
- REPLACE COMMON AREA INTERIOR AND EXTERIOR DOORS, FRAMES, AND HARDWARE.
- REPLACE APARTMENT UNIT ENTRY DOORS, FRAMES AND HARDWARE.
- REPAIR WALLS AND REPAINT BUILDING INTERIORS.
- PROVIDE NEW FINISH FLOORING IN COMMON AREAS.
- PROVIDE NEW FINISH FLOORING IN APARTMENT UNITS
- ADD KITCHEN TO COMMUNITY ROOM.
- REPLACE KITCHEN CABINETS IN SELECT APARTMENT UNITS
- PROVIDE NEW SOLID SURFACE COUNTERTOPS AND SINK IN ALL APARTMENT UNITS
- PROVIDE NEW KITCHEN APPLIANCES THROUGHOUT
- IMPLEMENT ENTERPRISE GREEN COMMUNITIES-2020 REQUIREMENTS



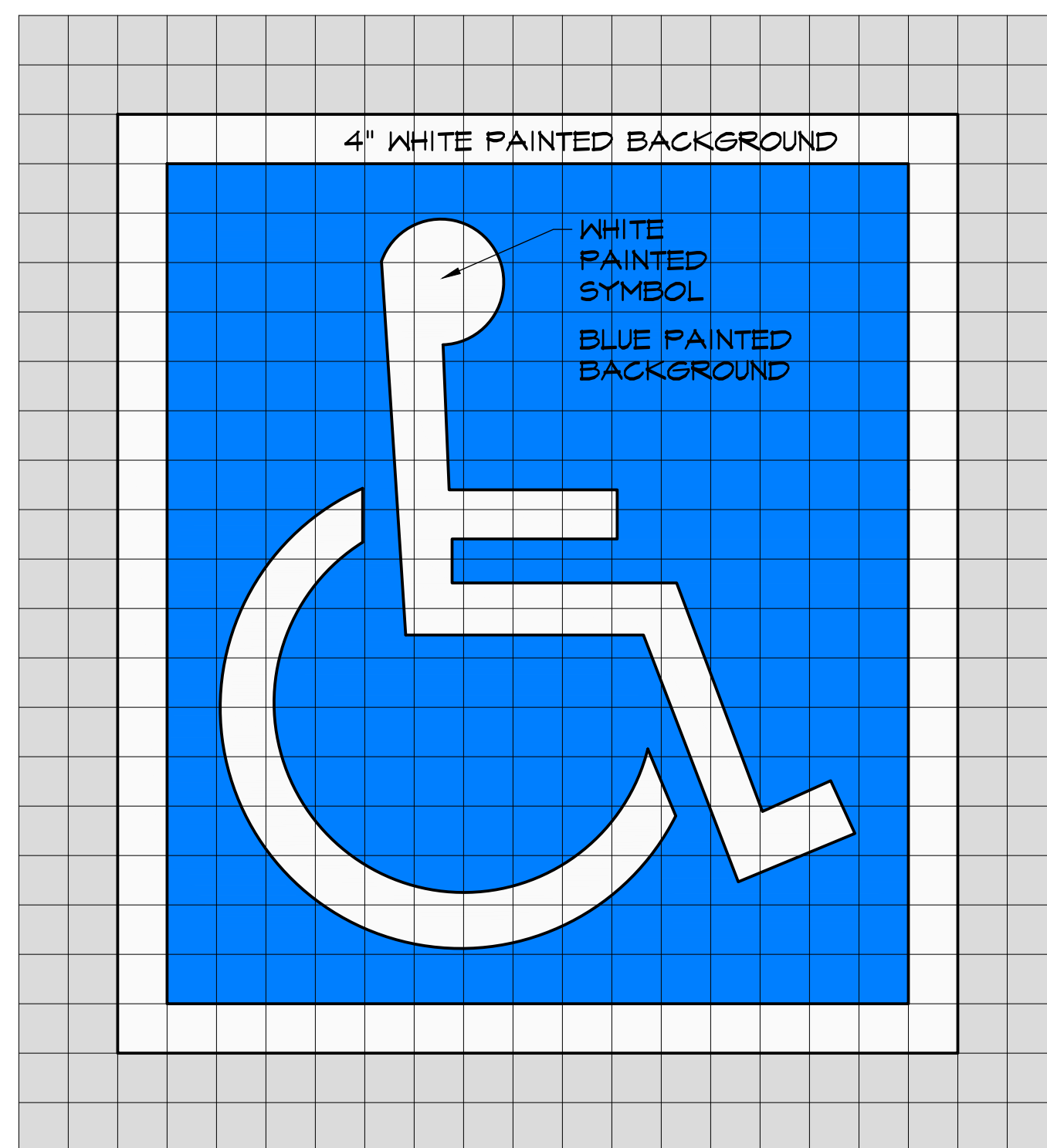
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1 EXISTING PARKING - 22ND STREET LOT (LOT & BLOCK # 12-F-358)
SCALE: 1" = 10'
SITE PLAN BASED ON ALTA/NSPS LAND TITLE SURVEY C-13199-000 - REVISED 4/11/2018

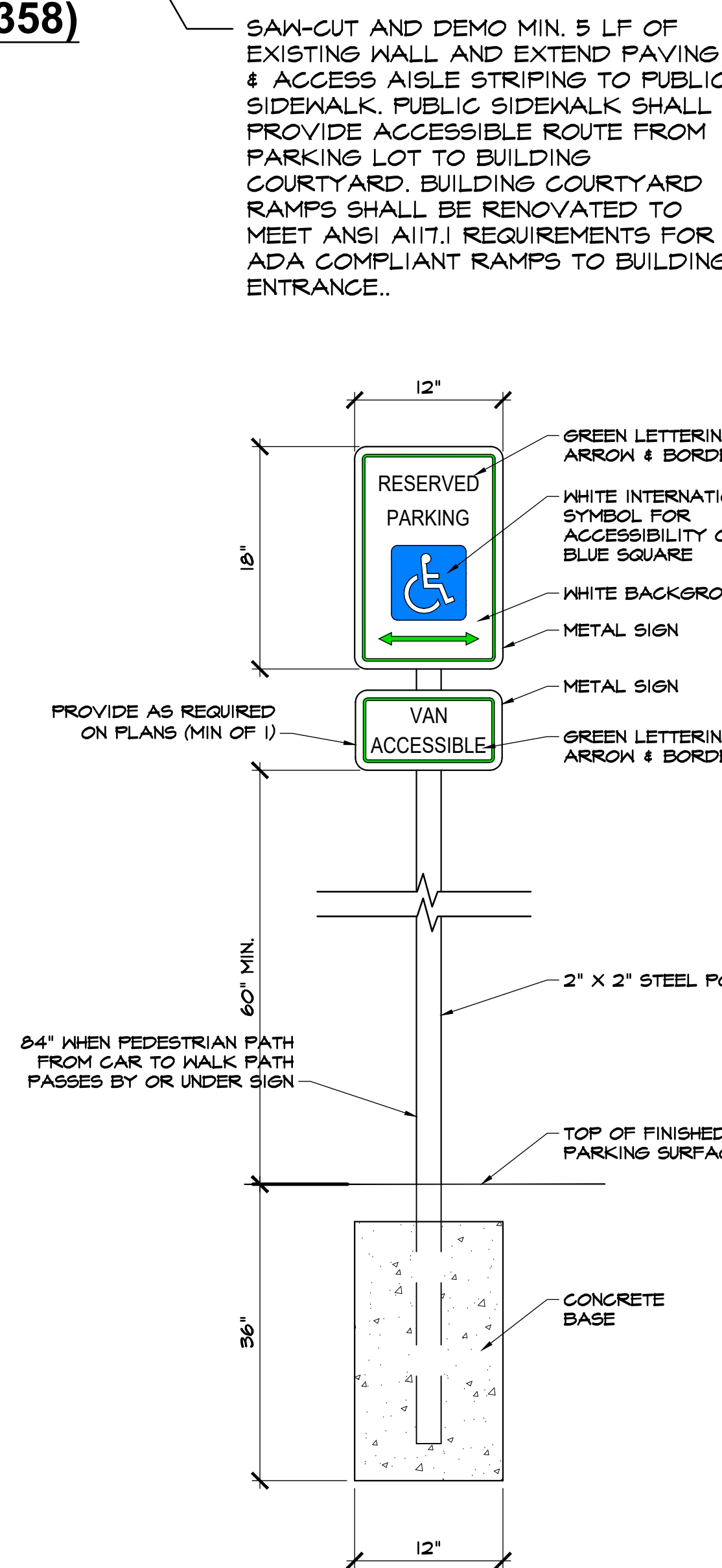
PARKING:
PROPOSED PARKING SPACES (THIS LOT) = 5 STANDARD SPACES
3 ADA COMPLIANT SPACES
TOTAL PARKING REQUIRED FOR 54 UNIT RESIDENTIAL APARTMENT BUILDING = 54 SPACES.

- 3,853.93 SF OR 0.088 ACRE PARCEL
- ALL SITE UTILITIES ARE EXISTING TO REMAIN



4"x4" GRID PROVIDED FOR LAYOUT OF SYMBOL PROVIDE PAINT COLORS IN ACCORDANCE WITH ADA AND LOCAL REQUIREMENTS (TYPICALLY WHITE SYMBOL ON BLUE BACKGROUND INSIDE WHITE BORDER)

2 PAINTED ADA SYMBOL
NOT TO SCALE



3 POLE MOUNTED HANDICAPPED PARKING SIGN
SCALE: 1" = 1'-0"

SITE IMPROVEMENTS, ROADS, AND WALKS:

- 2A** MILL AND OVERLAY NEW ASPHALT PAVING SEAL AND RE-STRIPE PARKING LOTS. RE-STRIPING SHALL COMPLY WITH ANSI A111, SECTION 502; AS WELL AS ALL LOCAL ORDINANCES (SEE NOTES 2B THRU 2F).
- 2B** INTENT TO RE-LOCATE ADA COMPLIANT PARKING SPACES FROM THE SIDNEY STREET PARKING LOT TO THE 22ND STREET PARKING LOT TO FACILITATE ADA COMPLIANT ROUTE UTILIZING PUBLIC SIDEWALKS TO THE BUILDING ENTRANCE (SEE NOTES 2B THRU 2F).
- 2C** RE-STRIPE PARKING SPACES IN SIDNEY STREET LOT FOR NEW LAYOUT TO PROVIDE FIVE (5) STANDARD PARKING SPACES.
- 2D** RE-STRIPE PARKING SPACES IN 22ND STREET LOT FOR NEW LAYOUT TO INCLUDE THREE (3) ADA COMPLIANT PARKING SPACES (INCLUDING ONE (1) VAN ACCESSIBLE PARKING SPACE). INCLUDE STRIPING FOR COMPLIANT ACCESS AISLES TO THE PUBLIC SIDEWALK. PROVIDE ADA COMPLIANT SIGNAGE.
- 2E** INSTALL NEW HANDICAP PARKING IDENTIFICATION SIGN THAT INCLUDES THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY". SIGNS SHALL BE 60" MINIMUM ABOVE THE FLOOR OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN (SEE 3/SP-3)
- 2F** NEW ACCESS AISLE STRIPING TO MEET THE REQUIREMENTS OF ANSI A111, SECTION 502; AISLE WIDTH TO BE 5'-0" AND SHALL EXTEND FOR THE FULL LENGTH OF THE PARKING SPACES THEY SERVE. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM; USE PAINTED LINES.
- 2G** RE-SET EXISTING WHEEL STOPS IN LOCATIONS AS SHOWN (TYP) AND PROVIDE NEW WHEEL STOPS AS REQUIRED TO ENSURE 1 PER SPACE. ANCHOR IN PLACE WITH #4 BAR (TYP).
- 2H** EXISTING TREE TO REMAIN. PRUNE AS REQUIRED.
- 2J** EXISTING COMPACT HEDGE TO REMAIN. PRUNE AND INFILL AS REQUIRED.
- 2K** CLEAN OUT EXISTING BASEMENT WINDOW AREAWAY(S), REPAIR AND CLEAN WINDOWS AS NECESSARY. INSPECT EXISTING STEEL GRATES, REPAIR OR REPLACE AS NECESSARY.
- 2L** PROVIDE NEW LANDSCAPING FOR COURTYARD TO INFILL AREAS AROUND NEW ADA COMPLIANT RAMPS. G.C. PROVIDE DELEGATED DESIGN OF LANDSCAPING, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

CONCRETE:

- 3A** REMOVE EXISTING NON-COMPLIANT RAMPS AT BUILDING COURTYARD. PROVIDE NEW ADA COMPLIANT RAMPS TO MEET THE REQUIREMENTS OF ANSI A111.1 TO CREATE ACCESSIBLE ROUTE FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. G.C. TO PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN FOR NEW RAMPS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.
- 3B** PATCH AND REPAIR EXISTING CONCRETE CURB AND SIDEWALK ON NORTH SIDE OF EXISTING PARKING LOT ADJACENT TO FOX WAY.
- 4A** SAW-CUT EXISTING MASONRY "GARDEN WALL", REMOVE AND DISPOSE SECTION AS INDICATED ON PLANS & ELEVATIONS. INFILL SOIL TO LEVEL GRADE AT NEW OPENING.
- 4B** REFER TO ELEVATIONS FOR SCOPE OF FACADE REPAIRS, INCLUDING POWER WASHING BUILDING EXTERIOR, BRICK MASONRY RE-POINTING, CONTROL JOINT, AND SEALANT JOINT WORK. REPAIR / REPLACE STEEL LINTELS, FLASHING, AND SILLS.
- 4C** SAW-CUT MASONRY VENEER AND CAVITY WALL TO ACCOMMODATE INSTALLATION OF NEW ALUMINUM FRAMED DOUBLE-HUNG WINDOW IN UNIT 104. PROVIDE NEW STEEL LINTEL, THRU-WALL FLASHING, AND MASONRY SILL T.M.E. WINDOW TO INCLUDE OPENING LIMITING DEVICE. USE BRICK FROM DEMO TO TOOTH-IN FINISH BRICK AT PERIMETER OF NEW OPENING (REFERENCE NOTE 8C).
- 4D** CLEAN, PREP AND REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES TO REMAIN, AND ALL NEW STEEL DOORS AND HOLLOW METAL DOOR FRAMES.

METALS:

- 5A** PROVIDE "SLEEVE" MOUNTED GUARD RAILS WITH NEW 42" HIGH GALVANIZED GUARD RAIL WITH 1/2-INCH SQUARE BAR STOCK BALUSTERS @ 4-INCHES O.C. W/ HIGH PERFORMANCE FINISH. G.C. PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN OF GUARDRAILS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

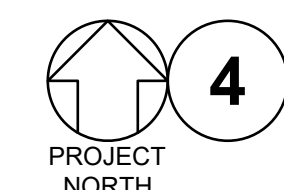
ROOFING:

- 7A** REPLACE EXISTING ROOF SYSTEM IN AREAS INDICATED ON DRAWINGS WITH NEW TPO OR EPDM MEMBRANE ROOFING SYSTEM WITH ANODIZED ALUMINUM COPINGS (PER DRAWINGS AND SPECIFICATIONS).

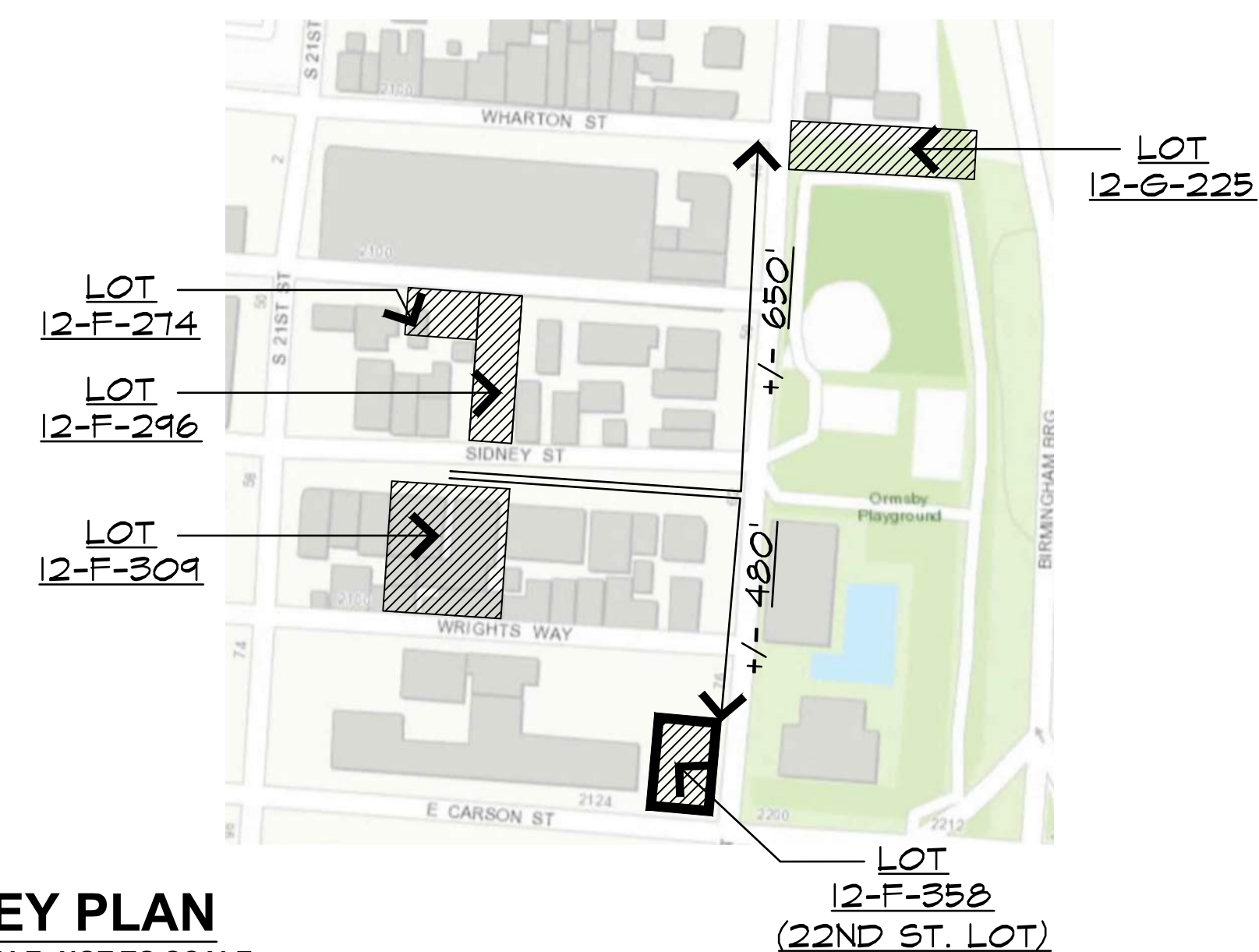
GENERAL NOTE:

PROJECT SCOPE INCLUDES RENOVATION OF 54 MULTI-FAMILY APARTMENT UNITS. PROPOSED RENOVATIONS INCLUDE:

- MINOR FACADE REPAIRS
- REPLACE EXISTING NON-COMPLIANT ENTRANCE RAMP WITH NEW ADA COMPLIANT ENTRANCE RAMP.
- MODERNIZE ELEVATORS INCLUDING NEW CAB FINISHES.
- REPLACE EXISTING ROOF WITH NEW TPO MEMBRANE ROOFING SYSTEM.
- REPLACE APARTMENT UNIT SPLIT-SYSTEM A/C UNITS
- REPLACE BUILDING CENTRAL HOT WATER HEATERS & STORAGE TANK.
- RENOVATE FOUR (4) EXISTING TYPE "A" ADA APARTMENT UNITS.
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- PROVIDE NEW FINISH FLOORING IN APARTMENT UNITS
- ADD KITCHEN TO COMMUNITY ROOM.
- REPLACE KITCHEN CABINETS IN SELECT APARTMENT UNITS
- PROVIDE NEW SOLID SURFACE COUNTERTOPS AND SINK IN ALL APARTMENT UNITS
- PROVIDE NEW KITCHEN APPLIANCES THROUGHOUT
- IMPLEMENT ENTERPRISE GREEN COMMUNITIES-2020 REQUIREMENTS



4 KEY PLAN
SCALE: NOT TO SCALE



OWNER



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CONSULTANT



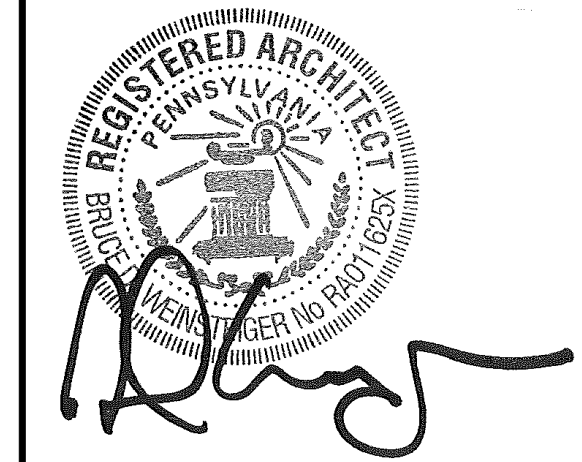
Building Systems Engineering Group
4949 Liberty Lane, Suite 115, Allentown, PA 18106
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www.bseg-ce.com
BSEG Project No: 25.0008.000

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SEAL

ARCHITECT



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Exton, Pennsylvania 19341

PROJECT

CARSON SQUARE APARTMENTS
PHFA#: TC2024-118

RENOVATIONS
2112 SIDNEY STREET
PITTSBURGH, PENNSYLVANIA
15203

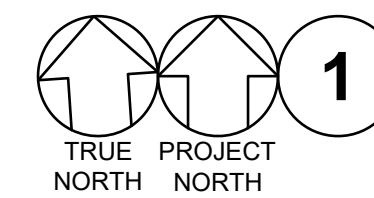
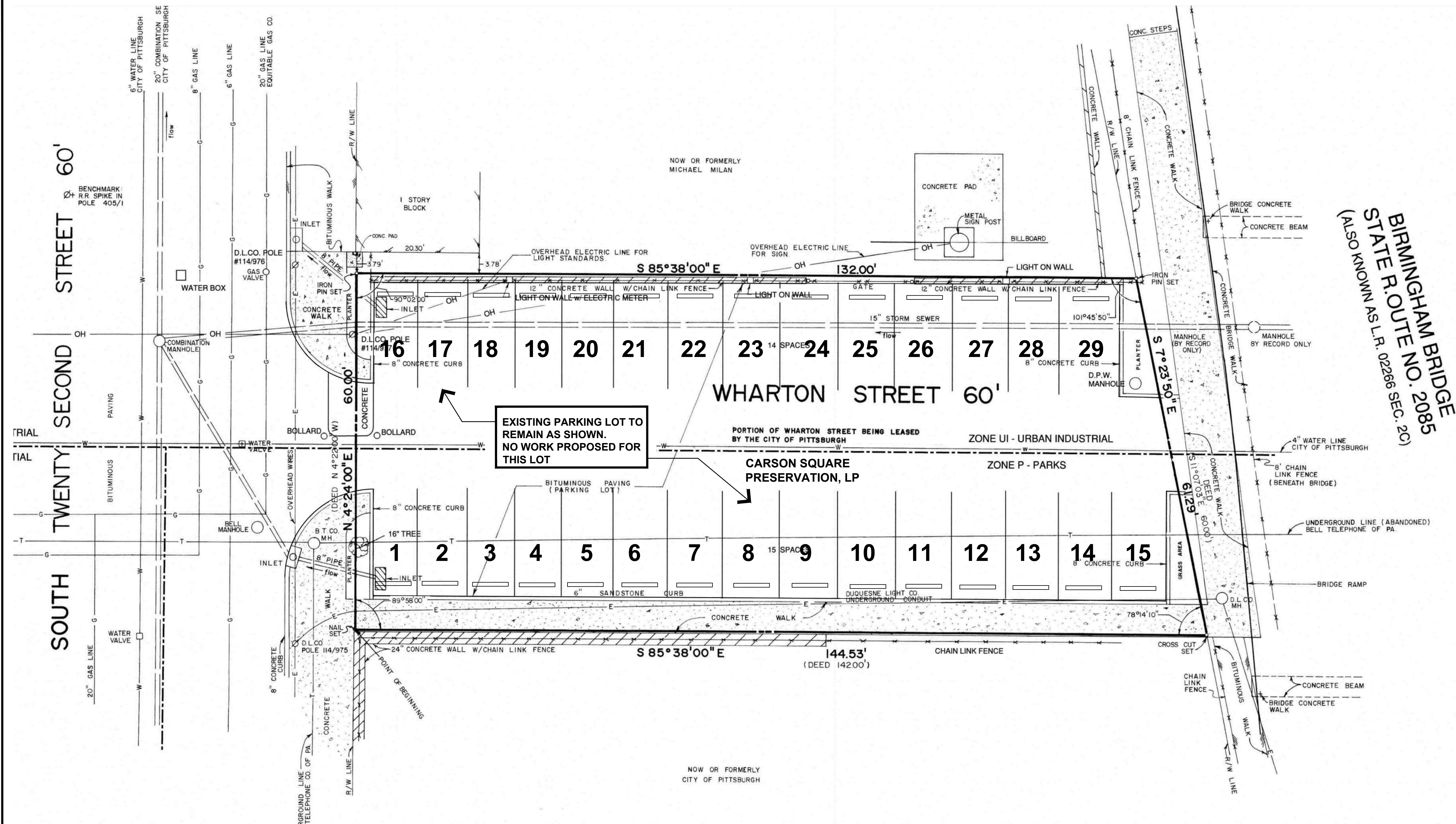
REVISIONS

No.	Date	Revision

Sheet Title:
**22nd STREET LOT
LOT & BLOCK #
12-F-358**

Issue Phase:	ZONING SUBMITTAL
Issue Date:	APRIL 11, 2025
Drawing Scale:	AS NOTED
Drawing Path:	23-069 CARSON SQUARE APARTMENTS
Drawn By:	R. THOMPSON
Reviewed By:	B. WEINSTEIN, AIA
Project Number:	23-069
File Name:	
Plot Scale:	1:1
Paper Size:	30" x 42"
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SP-3



EXISTING PARKING - WHARTON STREET LOT (LOT & BLOCK # 12-G-225)

SCALE: 1" = 10'
SITE PLAN BASED ON ALTA/NSPS LAND TITLE SURVEY C-13683-0001
- REVISED 4/11/2018

PARKING:
EXISTING PARKING SPACES (THIS LOT) = 29 SPACES
TOTAL PARKING REQUIRED FOR 54 UNIT RESIDENTIAL APARTMENT BUILDING = 54 SPACES.

- 8,295.90 SF OR 0.190 ACRE PARCEL
- ALL SITE UTILITIES ARE EXISTING TO REMAIN

SITE IMPROVEMENTS, ROADS, AND WALKS:

- 2A MILL AND OVERLAY NEW ASPHALT PAVING SEAL AND RE-STRIPE PARKING LOTS. RE-STRIPING SHALL COMPLY WITH ANSI A111, SECTION 502, AS WELL AS ALL LOCAL ORDINANCES (SEE NOTES 2B THRU 2F).
- 2B INTENT TO RE-LOCATE ADA COMPLIANT PARKING SPACES FROM THE SIDNEY STREET PARKING LOT TO THE 22ND STREET PARKING LOT TO FACILITATE ADA COMPLIANT ROUTE UTILIZING PUBLIC SIDEWALKS TO THE BUILDING ENTRANCE (SEE NOTES 2B THRU 2F).
- 2C RE-STRIPE PARKING SPACES IN SIDNEY STREET LOT FOR NEW LAYOUT TO PROVIDE FIVE (5) STANDARD PARKING SPACES.
- 2D RE-STRIPE PARKING SPACES IN 22ND STREET LOT FOR NEW LAYOUT TO INCLUDE THREE (3) ADA COMPLIANT PARKING SPACES (INCLUDING ONE (1) VAN ACCESSIBLE PARKING SPACE). INCLUDE STRIPING FOR COMPLIANT ACCESS AISLES TO THE PUBLIC SIDEWALK. PROVIDE ADA COMPLIANT SIGNAGE.
- 2E INSTALL NEW HANDICAP PARKING IDENTIFICATION SIGN THAT INCLUDES THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY". SIGNS SHALL BE 60" MINIMUM ABOVE THE FLOOR OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN (SEE 2/SP-3)
- 2F NEW ACCESS AISLE STRIPING TO MEET THE REQUIREMENTS OF ANSI A111, SECTION 502; AISLE WIDTH TO BE 5'-0" AND SHALL EXTEND FOR THE FULL LENGTH OF THE PARKING SPACES THEY SERVE. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM; USE PAINTED LINES.
- 2G RE-SET EXISTING WHEEL STOPS IN LOCATIONS AS SHOWN (TYP) AND PROVIDE NEW WHEEL STOPS AS REQUIRED TO ENSURE 1 PER SPACE. ANCHOR IN PLACE WITH #4 BAR (TYP).
- 2H EXISTING TREE TO REMAIN. PRUNE AS REQUIRED.
- 2J EXISTING COMPACT HEDGE TO REMAIN. PRUNE AND INFILL AS REQUIRED.
- 2K CLEAN OUT EXISTING BASEMENT WINDOW AREAWAY(S). REPAIR AND CLEAN WINDOWS AS NECESSARY. INSPECT EXISTING STEEL GRATES. REPAIR OR REPLACE AS NECESSARY.
- 2L PROVIDE NEW LANDSCAPING FOR COURTYARD TO INFILL AREAS AROUND NEW ADA COMPLIANT RAMPS. G.C. PROVIDE DELEGATED DESIGN OF LANDSCAPING, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

CONCRETE:

- 3A REMOVE EXISTING NON-COMPLIANT RAMPS AT BUILDING COURTYARD. PROVIDE NEW ADA COMPLIANT RAMPS TO MEET THE REQUIREMENTS OF ANSI A111 TO CREATE ACCESSIBLE ROUTE FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. G.C. TO PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN FOR NEW RAMPS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.
- 3B PATCH AND REPAIR EXISTING CONCRETE CURB AND SIDEWALK ON NORTH SIDE OF EXISTING PARKING LOT ADJACENT TO FOX WAY.
- 3C MASONRY:
 - 4A SAW-CUT EXISTING MASONRY "GARDEN WALL", REMOVE AND DISPOSE SECTION AS INDICATED ON PLANS & ELEVATIONS. INFILL SOIL TO LEVEL GRADE AT NEW OPENING.
 - 4B REFER TO ELEVATIONS FOR SCOPE OF FACADE REPAIRS, INCLUDING POWER WASHING BUILDING EXTERIOR, BRICK MASONRY RE-POINTING, CONTROL JOINT, AND SEALANT JOINT WORK. REPAIR / REPLACE STEEL LINTELS, FLASHING, AND SILLS.
 - 4C SAW-CUT MASONRY VENEER AND CAVITY WALL TO ACCOMMODATE INSTALLATION OF NEW ALUMINUM FRAMED DOUBLE-HUNG WINDOW IN UNIT 104. PROVIDE NEW STEEL LINTEL, THRU-WALL FLASHING, AND MASONRY SILL T.M.E. WINDOW TO INCLUDE OPENING LIMITING DEVICE. USE BRICK FROM DEMO TO TOOTH-IN FINISH BRICK AT PERIMETER OF NEW OPENING (REFERENCE NOTE 8C).
 - 4D CLEAN, PREP AND REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES TO REMAIN, AND ALL NEW STEEL DOORS AND HOLLOW METAL DOOR FRAMES.

METALS:

- 5A PROVIDE "SLEEVE" MOUNTED GUARD RAILS WITH NEW 42" HIGH GALVANIZED GUARD RAIL WITH 1/2-INCH SQUARE BAR STOCK BALUSTERS @ 4-INCHES O.C. W/ HIGH PERFORMANCE FINISH. G.C. PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN OF GUARDRAILS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

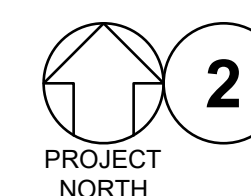
ROOFING:

- 7A REPLACE EXISTING ROOF SYSTEM IN AREAS INDICATED ON DRAWINGS WITH NEW TPO OR EPDM MEMBRANE ROOFING SYSTEM WITH ANODIZED ALUMINUM COPINGS (PER DRAWINGS AND SPECIFICATIONS).

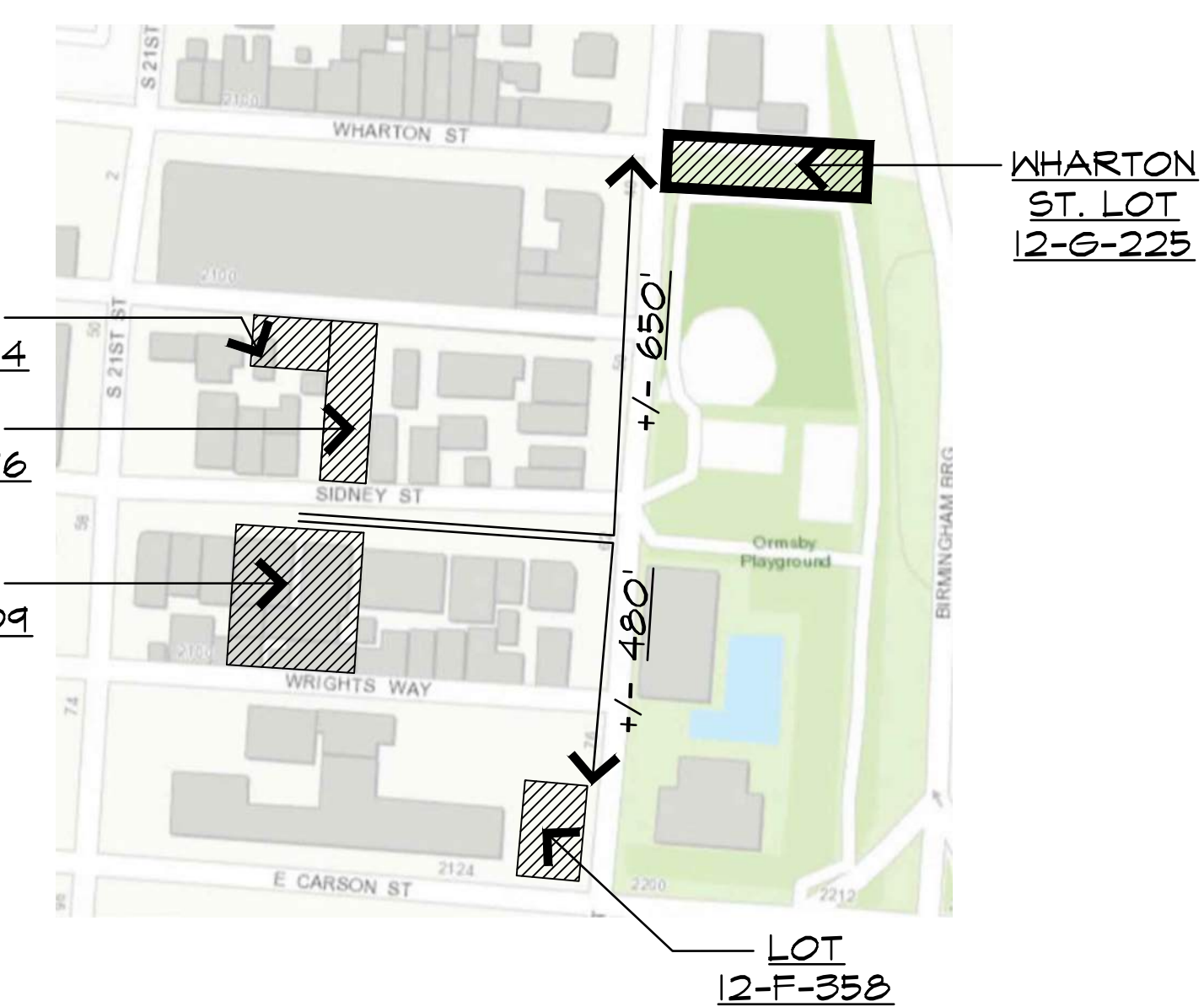
GENERAL NOTE:

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- MINOR FACADE REPAIRS
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KEY PLAN SCALE: NOT TO SCALE



ZONING SUBMITTAL 04/11/2025

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BSEG Project No: 25.0008.000

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CONSULTANT

SEAL

ARCHITECT

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James L. Cherry III, AIA
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The Glenmont Mansion
626 West Lincoln Highway
Exton, Pennsylvania 19341

PROJECT

CARSON SQUARE
APARTMENTS
PHFA#: TC2024-118

RENOVATIONS
2112 SIDNEY STREET
PITTSBURGH, PENNSYLVANIA
15203

REVISIONS

No.	Date	Revision

Issue Phase:

ZONING SUBMITTAL

Issue Date:

APRIL 11, 2025

Drawing Scale:

AS NOTED

Drawing Path:

23-069 CARSON SQUARE APARTMENTS

Drawn By:

R. THOMPSON

Revised By:

B. WEINSTEIGER, AIA

Project Number:

23-069

Drawing No.:

File Name:

Plot Scale:

1:1

Paper Size:

30" x 42"

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SP-4