CARSON SQUARE APARTMENTS

2112 SIDNEY STREET, PITTSBURGH, PA 15203

PHFA #: TC2024-118

4. Structural System: Steel frame with steel bar joists, and masonry bearing walls

Section 504 UFAS PAUCC FHAA ADA

8. Number of On-Site Parking Spaces: 54 spaces (via remote parking lots)

6. Gross Building Area*: 64,410 7. Gross Commercial Area (SF): 0

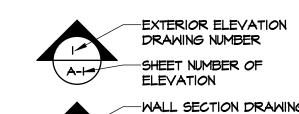
2 BR

Community Room Circulation.(hallwa

10. Applicable Accessibility Regulations

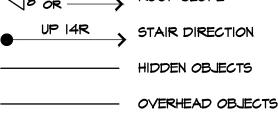
SYMBOL DESIGNATIONS

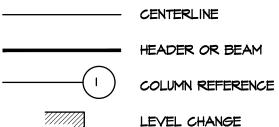
NOTE: ALL SYMBOLS SHOWN MAY NOT BE USED IN THE PROJECT







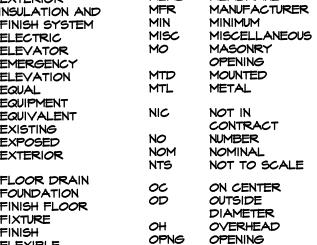


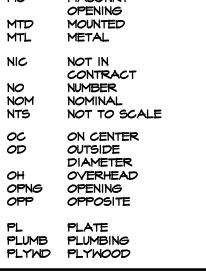


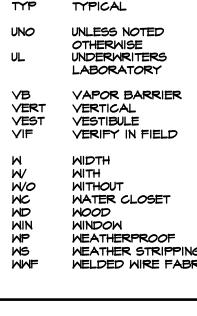


		0110			
NOTE:	ALL ABBREVIATION	ONS SHO	WN MAY NOT BE	IN THE PRO	JECT
ABV ADJ AFF	ABOVE ADJUSTABLE ABOVE FINISHED FLOOR	ga galv gc	GAUGE GALVANIZE GENERAL CONTRACTOR	PNL PREFAB PSI	PANEL PREFABRICATED POUNDS PER SQUA INCH
ALUM ALT AUTO	ALUMINUM ALTERNATE AUTOMATIC	grd gyp	GRADE GYPSUM	PT PTD PVC	PRESSURE TREATE PAINTED POLYVINYL CHLOR
BD BLDG BLKG	BOARD BUILDING BLOCKING	H HB HDR HORIZ	HIGH HOSE BIB HEADER HORIZONTAL	QTY QTR	QUANTITY QUARTER
BOT BRG	BOTTOM BEARING	HR HT HVAC	HOUR HEIGHT HEATING,	RAD RD REF	RADIUS ROOF DRAIN REFERENCE
CJ CLG CLOS CLR	CONTROL JOINT CEILING CLOSET CLEAR		VENTILATING, AND AIR CONDITIONING	REINF REQD RM	REINFORCE REQUIRED ROOM
CMU	CONCRETE MASONRY UNIT	IN ID	INCH INSIDE	ro RWC	ROUGH OPENING RAINWATER CONDUCTOR
COL CONC CONT	COLUMN CONCRETE CONTINUOUS	INSUL INT	DIAMETER INSULATION INTERIOR	SCHED SERV SHT	SCHEDULE SERVICE SHEET
_		IST	MIST	SIM	SIMILAR

JANITOR STRUCTURAL LABORATORY LAVATORY MATERIAL MAXIMUM MANUFACTURER MISCELLANEOUS







ELEVATION

INTERIOR ELEVATION DRAWING DESIGNATION

WINDOW, LOUVER, OR



STORAGE

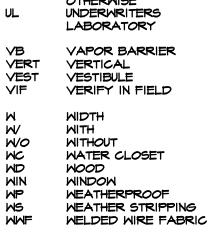
SUSPENDED

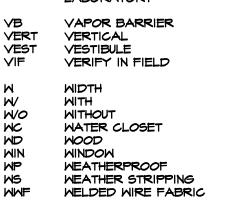
TOP OF JOIST

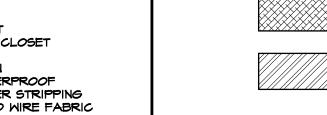
TOP OF STEEL

TOP OF MASONRY

SYMBOL









STANDARD COMMUNITIES 1901 AVENUE OF THE STARS - SUITE 395 LOS ANGELES, CA 90067 (310) 553-5711 - LA office CONTACT: JAMES BENJAMIN

EMAIL: jbenjamin@standard-communities.com

GRAVEL

BRICK MASONRY

UNIT (CMU)

MATERIAL DESIGNATIONS

NOTE: ALL MATERIALS SHOWN MAY NOT BE IN THE PROJECT

ARCHITECTURE & INTERIOR DESIGN: **ARCHITECTURAL** CONCEPTS, PC 626 WEST LINCOLN HIGHWAY **EXTON, PA 19341** TEL: (610) 518-1596 FAX: (610) 873-1587 CONTACT: RON THOMPSON EMAIL: rthompson@arconcepts.com

ROUGH LUMBER 545

WOOD BLOCKING

FINISH WOOD/

SUSPENDED ACOUSTICAL

CEILING TILE (ACT)

BATT, BLANKET, OR

LOOSE INSULATION

RIGID INSULATION

GLASS (LARGE SCALE)

ARCHITECTURAL CONTINUED:

GYPSUM WALLBOARD

MILLWORK

MEP / FIRE PROTECTION ENGINEER: **BUILDING SYSTEMS ENGINEERING GROUP** 4949 LIBERTY LANE - SUITE 115 FAX: (610) 351-8210 CONTACT: AHMAD MAHMUD

EMAIL: amahmud@bseg-ce.com

CONSTRUCTION MANAGER: CALDWELL, HECKLES & EGAN, INC

LANCASTER, PA 17602 TEL: (717) 394-0799 FAX: (717) 394-0288 CONTACT: RODGER KEMMER EMAIL: rkemmer@cheinc.com

SUBMISSION GUIDE FOR ARCHITECTS, 2024 EDITION **GENERAL NOTES** THIS BUILDING IS DESIGNED AND IS INTENDED TO BE CONSTRUCTED IN COMPLIANCE WITH THE INTERNATIONAL EXISTING BUILDING CODE (IEBC) (2018 EDITION AND SUBSEQUENT REVISIONS APPROVED BY GOVERNING OFFICIALS). THE PROJECT SHALL ALSO MEET THE REQUIREMENTS OF ANSI-AIIT.I, THE FAIR HOUSING ACT OF 1988 ACCESSIBILITY GUIDELINES, THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS), AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG).

2. THE WORK OF ALL TRADES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL STATE, TOWNSHIP, MUNICIPAL CODES/REGULATIONS AND/OR OTHER AUTHORITIES HAVING JURISDICTION OVER CONSTRUCTION.

conditioned to the same degree as a living space and are finished should be calculated at 100%.

same degree as a living space, must be calculated at 50% of the actual size. The upper portion(s) of

multistory spaces shall be excluded from the square foot calculation. Include only the lowest floor area.

** Net Area (SF) is measured from the interior face of the unit separation and/or exterior walls. Show the

Porches, patios, and balconies shall not be included in the gross building area.

average if there is more than one size in each type.

3. NO WORK SHALL BEGIN AT THE SITE UNTIL APPLICABLE APPROVALS AND REQUIRED PERMITS HAVE BEEN OBTAINED COVERING SUCH WORK. SUBCONTRACTORS ARE TO VERIFY AND ASSURE PROPER CODE COMPLIANCE FOR ALL ASPECTS OF CONSTRUCTION WITHIN THEIR

RESPECTIVE TRADES. 4. THE OWNER OR CIVIL ENGINEER SHALL FURNISH SURVEYS DESCRIBING PHYSICAL CHARACTERISTICS, LEGAL LIMITATIONS AND UTILITY LOCATIONS FOR THE SITE OF THE

PROJECT, AND A LEGAL DESCRIPTION OF THE SITE. 5. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DRAWINGS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED.

6. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE DRAWINGS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO

7. DO NOT SCALE DRAWINGS. LARGE SCALED DRAWINGS TAKE PRECEDENT OVER SMALLER SCALED DRAWINGS AND WRITTEN DIMENSIONS TAKE PRECEDENT OVER GRAPHICS. 8. DIMENSIONS ARE GIVEN TO FACE OF ELEMENTS SUCH AS FACE OF SHEATHING, FACE OF

STUD, OR CMU. ALL DIMENSIONS TO EXISTING ELEMENTS ARE TO FINISHED FACE, UNLESS

DRAWINGS AND WITH OTHER TRADES. THE CONTRACTOR SHALL AT ONCE NOTIFY THE

9. SEE DRAWINGS BY OTHERS FOR ALL SITEMORK, INCLUDING BUILDING LOCATION ON THE SITE,

FINAL LINES AND GRADES, AND DRIVEWAY LOCATION. 10. SEE ENGINEERING DRAWINGS FOR ALL FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL WORK. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS TO COORDINATE THEIR WORK WITH THE ARCHITECTURAL

II. ALL MATERIALS, ITEMS, AND FIXTURES SHALL BE INSTALLED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH MANUFACTURERS LATEST WRITTEN INSTRUCTIONS AND INDUSTRY STANDARDS UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED.

12. THE TERMS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED MEANS THAT SUCH ITEMS SHALL BE "FURNISHED, INSTALLED, AND CONNECTED, COMPLETE AND READY FOR THE INTENDED USE."

13. ADDRESS IDENTIFICATION SHALL BE PROVIDED AS APPROVED BY THE OWNER.

14. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL: BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES; BE REPEATED AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION; AND INCLUDE LETTERING NOT LESS THAN 0.5 INCH IN HEIGHT INCORPORATING THE SUGGESTED WORDING: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS," OR OTHER WORDING.

SIGNATURE BLOCK

ARCHITECT OF ANY CONFLICTS.

ZONING SUBMITTAL 04/11/2025

3. Building Code: IBC IRC Construction Type: IEBC level 1 and level 2 alterations (2019), and IBC Type IIA (2006)

Percentage of Gross Building Area: 0

P: 610-351-8225 F: 610-351-8210

CONTRACTOR

www.bseg-ce.com BSEG Project No: 25.0008.000

STANDARD

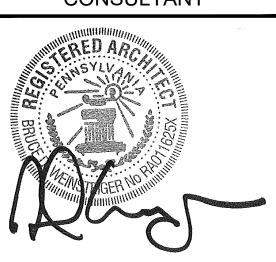
1901 AVENUE OF THE STARS

CONSULTANT



LANCASTER, PA 17602 P: 717-394-0799 F: 717-394-0288 www.cheinc.com

CONSULTANT



SEAL

ARCHITECT



ARCHITECTURAL CONCEPTS, PC Architecture and Interior Desigr

lames L. Cherry, III . AIA

610.518.1596T 610.873.1587F The Grimmet Mansion 626 West Lincoln Highway Exton . Pennsylvania 19341

PROJECT

CARSON SQUARE

APARTMENTS PHFA#: TC2024-118 RENOVATIONS 2112 SIDNEY STREET

REVISIONS

PITTSBURGH, PENNSYLVANIA

Date	Revision

COVER SHEET AND TYPICAL NOTES

ZONING SUBMITTAL APRIL 11, 2025 AS NOTED 23-069 CARSON SQUARE APARTMENTS B. WEINSTEIGER, A R. THOMPSON

30" x 42"

DOUBLE DETAIL

DRINKING

DIAMETER

EXTERIOR

ELEVATOR

EQUIVALEN'

EXISTING

EXPOSED

EXTERIOR

FLOOR

FOUNDATION

FINISH FLOOR FIXTURE

EQUIP EQUIPMENT

DRAWING INDEX COVER SHEET PHFA FORM: ARCHITECTS CERTIFICATIONS PHFA FORM: MECH / ELEC CHECKLIST, DESIGN DEVEL ENTERPRISE GREEN COMMUNITIES CHECKLIST BUILDING DATA AND ZONING CODE REVIEW SET ACCESSIBILITY AND FURNISHABILITY PLANS ARCHITECTURAL SITE PLANS PRIMARY BUILDING LOT & BLOCK # 12-F-309 SIDNEY STREET LOT-LOT & BLOCK # 12-F-274 & 12-F-296 22ND STREET LOT - LOT & BLOCK # 12-F-358 WHARTON STREET LOT - LOT & BLOCK # 12-6-225 BASEMENT & FIRST FLOOR PLANS A100 SECOND & THIRD FLOOR PLANS FOURTH & FIFTH FLOOR PLANS SIXTH FLOOR & ELEVATOR PENTHOUSE PLANS ROOF PLANS A105 TPO ROOF DETAILS TPO ROOF DETAILS TPO ROOF DETAILS

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NORTH & SOUTH BUILDING ELEVATIONS EAST & WEST BUILDING ELEVATIONS INNER COURT EAST & WEST BUILDING ELEVATIONS EXTERIOR BRICK DETAILS ENLARGED COMMON AREA PLANS ENLARGED COMMON AREA PLANS ACCESSIBLE ENTRANCE RAMP ELEVATOR MODERNIZATION DRAWINGS ELEVATOR MODERNIZATION DRAWINGS A400 PROJECT KEYNOTES ENLARGED UNIT PLANS (UNIT TYPES A, B, AND C) ENLARGED UNIT PLANS (UNIT TYPES D AND E) ENLARGED UNIT PLANS (UNIT TYPES F, G, AND H) ENLARGED UNIT PLANS (UNIT TYPES J. K. AND L) ENLARGED UNIT PLANS (UNIT TYPES M, N, AND O) ENLARGED UNIT PLANS (UNIT TYPES P, Q, AND R) A407 ENLARGED UNIT PLANS (UNIT TYPES S, T, AND U) ENLARGED UNIT PLANS (UNIT TYPES V, W, AND X) ENLARGED UNIT PLANS (UNIT TYPES Y, Z, AND AA) ADA UNIT KITCHEN PLAN & ELEVATIONS UNIT KITCHEN PLANS & ELEVATIONS UNIT KITCHEN PLANS & ELEVATIONS KITCHEN CABINET ELEVATIONS A504 KITCHEN CABINET ELEVATIONS KITCHEN CABINET ELEVATIONS TYPICAL MOUNTING HEIGHTS, PLUMBING & ACCESSORIES SCHEDULE ADA UNIT BATHROOM PLANS AND ELEVATIONS

UNIT BATHROOM ACCESSORY LOCATION PLANS

WINDOW TYPES, PARTITION TYPES AND DETAILS

DOOR SCHEDULE AND DETAILS

A704 HVAC SIXTH FLOOR AND ROOF PLANS HVAC PENTHOUSE ROOF PLAN HVAC SCHEDULES AND DETAIL SHEETS HVAC ENLARGED UNIT PLANS HVAC ENLARGED UNIT PLANS HVAC ENLARGED UNIT PLANS HVAC ENLARGED UNIT PLANS UNIT BATHROOM ACCESSORY LOCATION PLANS HVAC ENLARGED UNIT PLANS

SECOND AND THIRD FLOOR FINISH PLANS FOURTH AND FIFTH FLOOR FINISH PLANS SIXTH FLOOR FINISH PLAN AND DETAILS BASEMENT AND FIRST FLOOR RCP SECOND AND THIRD FLOOR RCF FOURTH AND FIFTH FLOOR RCP SIXTH FLOOR RCP SIGNAGE SCHEDULE AND DETAILS PROPERTY SIGN, CONSTRUCTION SIGN AND DETAILS HVAC INFORMATION SHEET HVAC BASEMENT AND FIRST FLOOR DEMOLITION PLANS HVAC FOURTH AND FIFTH FLOOR DEMOLITION PLANS HVAC SIXTH FLOOR AND ROOF DEMOLITION PLANS HVAC BASEMENT AND FIRST FLOOR PLANS HVAC SECOND AND THIRD FLOOR PLANS HVAC FOURTH AND FIFTH FLOOR PLANS

FINISH LEGEND, SCHEDULE AND DETAILS

BASEMENT AND FIRST FLOOR FINISH PLANS

NORTH

PLUMBING ENLARGED UNIT PLANS PLUMBING ENLARGED UNIT PLANS ELECTRICAL INFORMATION SHEET ELECTRICAL SITE PLAN E100 ELECTRICAL BASEMENT & FIRST FLOOR PLANS ELECTRICAL SECOND & THIRD FLOOR PLANS ELECTRICAL FOURTH & FIFTH FLOOR PLANS ELECTRICAL SIXTH FLOOR & ROOF PLANS E104 ELECTRICAL PENTHOUSE PLAN ELECTRICAL ENLARGED UNIT PLANS E501 ELECTRICAL ENLARGED UNIT PLANS ELECTRICAL ENLARGED UNIT PLANS

P103

PLUMBING INFORMATION SHEET PLUMBING BASEMENT AND FIRST FLOOR PLANS PLUMBING SECOND AND THIRD FLOOR PLANS PLUMBING FOURTH AND FIFTH FLOOR PLANS PLUMBING SIXTH FLOOR PLAN PLUMBING DETAILS SHEET PLUMBING ENLARGED UNIT PLANS

P400 PLUMBING ENLARGED UNIT PLANS PLUMBING ENLARGED UNIT PLANS

	APARIMI	<u> </u>	AII MA	<u> </u>			
APARTMENT UNIT	UNIT TYPE	UNIT N.S.F.	UNIT 6.5.F.	LR / S.F.	DR / S.F.	B-I / S.F.	B-2 / S.F
BASEMENT - UNIT OOI	2-BDRM	794 NSF	877 GSF	134 NSF	144 NSF	145 NSF	132 NSF
BASEMENT - UNIT 002	2-BDRM	681 NSF	727 <i>6</i> 5F	145 NSF	71 NSF	162 NSF	135 NSF
BASEMENT - UNIT 003	2-BDRM	851 NSF	919 65F	183 NSF	86 NSF	IOI NSF	185 NSF
BASEMENT - UNIT 004	2-BDRM	736 NSF	788 GSF	173 NSF	72 NSF	154 NSF	156 NSF
BASEMENT - UNIT 005	2-BDRM	805 NSF	892 GSF	141 NSF	142 NSF	159 NSF	127 NSF
IST FLOOR - UNIT 101	2-BDRM	718 NSF	804 GSF	134 NSF	40 NSF	II3 NSF	165 NSF
IST FLOOR - UNIT 102	2-BDRM-ADA	831 NSF	921 <i>GS</i> F	250 NSF	73 NSF	135 NSF	140 NSF
IST FLOOR - UNIT 103	2-BDRM	716 NSF	782 GSF	106 NSF	56 NSF	109 NSF	150 NSF
IST FLOOR - UNIT 104	2-BDRM	708 NSF	814 GSF	180 NSF	64 NSF	130 NSF	87 NSF
IST FLOOR - UNIT 105	I-BDRM	424 NSF	478 GSF	119 NSF	40 NSF	130 NSF	-
IST FLOOR - UNIT 106	2-BDRM	754 NSF	832 GSF	125 NSF	41 NSF	170 NSF	106 NSF
IST FLOOR - UNIT 107	2-BDRM-ADA	812 NSF	861 GSF	150 NSF	40 NSF	164 NSF	164 NSF
IST FLOOR - UNIT 108	2-BDRM	724 NSF	795 <i>6</i> 5F	II6 NSF	40 NSF	II4 NSF	164 NSF
2ND FLOOR - UNIT 201	2-BDRM	784 NSF	857 GSF	127 NSF	106 NSF	185 NSF	124 NSF
2ND FLOOR - UNIT 202	2-BDRM-ADA	728 NSF	779 GSF	150 NSF	106 NSF	166 NSF	156 NSF
2ND FLOOR - UNIT 203	2-BDRM	704 NSF	774 65F	168 NSF	49 NSF	II6 NSF	166 NSF
2ND FLOOR - UNIT 204	I-BDRM	430 NSF	509 GSF	133 NSF	1	152 NSF	_
2ND FLOOR - UNIT 205	2-BDRM	718 NSF	718 NSF	100 NSF	II2 NSF	150 NSF	82 NSF
2ND FLOOR - UNIT 206	2-BDRM	788 NSF	872 GSF	138 NSF	68 NSF	152 NSF	194 NSF
2ND FLOOR - UNIT 207	2-BDRM	748 NSF	826 GSF	IIO NSF	41 NSF	170 NSF	IO6 NSF
2ND FLOOR - UNIT 208	2-BDRM-ADA	733 NSF	779 65F	150 NSF	106 NSF	166 NSF	156 NSF
2ND FLOOR - UNIT 209	2-BDRM	786 NSF	857 GSF	127 NSF	106 NSF	185 NSF	124 NSF
3RD FLOOR - UNIT 301	2-BDRM	784 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
3RD FLOOR - UNIT 302	I-BDRM	713 NSF	760 GSF	137 NSF	69 NSF	160 NSF	_
3RD FLOOR - UNIT 303	2-BDRM	799 NSF	889 GSF	182 NSF	53 NSF	124 NSF	159 NSF
3RD FLOOR - UNIT 304	I-BDRM - H/V	615 NSF	716 GSF	152 NSF	53 NSF	200 NSF	_
3RD FLOOR - UNIT 305	2-BDRM	776 NSF	842 GSF	104 NSF	II5 NSF	150 NSF	85 NSF
3RD FLOOR - UNIT 306	2-BDRM	788 NSF	872 GSF	148 NSF	68 NSF	137 NSF	194 NSF
3RD FLOOR - UNIT 307	2-BDRM	764 NSF	844 GSF	IIO NSF	41 NSF	170 NSF	106 NSF
3RD FLOOR - UNIT 308	I-BDRM	713 NSF	760 GSF	150 NSF	54 NSF	160 NSF	_
3RD FLOOR - UNIT 309	2-BDRM	786 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
4TH FLOOR - UNIT 401	2-BDRM	784 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
4TH FLOOR - UNIT 402	I-BDRM	713 NSF	760 GSF	137 NSF	69 NSF	160 NSF	_
4TH FLOOR - UNIT 403	2-BDRM	811 NSF	889 GSF	182 NSF	53 NSF	124 NSF	159 NSF
4TH FLOOR - UNIT 404	I-BDRM - H/V	648 NSF	747 <i>G</i> SF	152 NSF	53 NSF	200 NSF	_
4TH FLOOR - UNIT 405	I-BDRM	482 NSF	533 <i>G</i> SF	122 NAF	_	170 NSF	_
4TH FLOOR - UNIT 406	2-BDRM	788 NSF	872 GSF	148 NSF	68 NSF	137 NSF	194 NSF
4TH FLOOR - UNIT 407	2-BDRM	764 NSF	844 <i>G</i> SF	IIO NSF	41 NSF	170 NSF	106 NSF
4TH FLOOR - UNIT 408	I-BDRM	713 NSF	760 GSF	150 NSF	54 NSF	160 NSF	_
4TH FLOOR - UNIT 409	2-BDRM	786 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
5TH FLOOR - UNIT 501	2-BDRM	784 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
5TH FLOOR - UNIT 502	I-BDRM	713 NSF	760 GSF	137 NSF	69 NSF	160 NSF	-
5TH FLOOR - UNIT 503	2-BDRM	811 NSF	889 GSF	182 NSF	53 NSF	124 NSF	159 NSF
5TH FLOOR - UNIT 504	I-BDRM	648 NSF	747 <i>6</i> 5F	152 NSF	53 NSF	200 NSF	-
5TH FLOOR - UNIT 505	I-BDRM	482 NSF	533 GSF	122 NSF	-	170 NSF	_
5TH FLOOR - UNIT 506	2-BDRM	788 NSF	872 GSF	148 NSF	68 NSF	137 NSF	194 NSF
5TH FLOOR - UNIT 507	2-BDRM	764 NSF	844 <i>G</i> SF	IIO NSF	41 NSF	168 NSF	106 NSF
5TH FLOOR - UNIT 508	I-BDRM	713 NSF	760 GSF	150 NSF	54 NSF	160 NSF	_
5TH FLOOR - UNIT 509	2-BDRM	786 NSF	857 GSF	121 NSF	88 NSF	167 NSF	156 NSF
6TH FLOOR - UNIT 601	2-BDRM	898 NSF	997 <i>6</i> 5F	129 NSF	63 NSF	226 NSF	173 NSF
6TH FLOOR - UNIT 602	2-BDRM	771 NSF	877 GSF	130 NSF	58 NSF	178 NSF	132 NSF
6TH FLOOR - UNIT 603	I-BDRM	446 NSF	502 GSF	123 NSF	_	158 NSF	_
6TH FLOOR - UNIT 604	2-BDRM	817 NSF	897 GSF	138 NSF	75 NSF	203 NSF	132 NSF
6TH FLOOR - UNIT 605	2-BDRM	920 NSF	1.000 GSF	129 NSF	63 NSF	226 NSF	173 NSF

920 NSF | 1,000 GSF | 129 NSF | 63 NSF | 226 NSF | 173 NSF |

APARTMENT UNIT MATRIX

BLDG FLRS: GROSS AF	REAS
BASEMENT	10,209 S.F.
IST FLOOR	9,722 S.F.
2ND FLOOR	9,713 S.F.
3RD FLOOR	9,713 S.F.
4TH FLOOR	9,442 S.F.
5TH FLOOR	9,442 S.F.
6TH FLOOR	6,169 S.F.
TOTAL BUILDING AREA:	64,410 S.F.

IBC 2018	INTERNATIONAL BUILDING CODE 2018
	*CHAPTER II AND APPENDIX E TO FOLLOW IBC 2021
IEBC 2018	INTERNATIONAL EXISTING BUILDING CODE 2018
	*ACCESSIBILITY PROVISIONS OF 2018 IEBC AND APPENDIX B
IECC 2018	INTERNATIONAL ENERGY CONSERVATION CODE 2018
	*SECTIONS R202 (INSULATED SIDING), R402.2.4, R402.2.8, TABLE
	R402.4.I.I AND TABLE R402.I.3 OF IECC 2018
IFC 2018	INTERNATIONAL FIRE CODE 2018
	*SECTION 202, AND VARIOUS CHAPTER 9 SECTIONS OF IFC 2015
IFGC 2018	INTERNATIONAL FUEL GAS CODE 2018
IMC 2018	INTERNATIONAL MECHANICAL CODE 2018
	*SECTION 507.2 OF THE IMC 2018
ACPC 2022	2022 Article XV Allegheny County Plumbing Code
NEC 2008	NATIONAL ELECTRIC ČODĚ 2008, NFPA 70-2008
ICC/ANSI AII7-2017	ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES - ICC-AIIT

TYPE OF SPECIAL INSPECTION OR OBSERVATION	NAME AND ADDRESS OF INDIVIDUAL AND/OR FIRM PERFORMING INSPECTION OR OBSERVATION	CREDENTIALS (INCLUDE ACRONYM INDICATING BASIS OF COMPETANCY TO PERFORM WORK)
FABRICATOR INSPECTION	ARCHITECTURAL CONCEPTS, PC 626 WEST LINCOLN HWY. EXTON, PA 19341	ARCHITECTURAL CONCEPTS PERSONNEL OBSERVING CONSTRUCTION IS A LICENSED "PA"
INSPECTION OF CONCRETE CONSTRUCTION	QUALITY CONTROL TESTING AGENCY TO BE CONTRACTED BY OWNER	TESTING AGENCY CERTIFICATIONS WILL INCLUDE: ACI, AMS, ASNT, AND PE.
INSPECTION OF MASONRY CONSTRUCTION	QUALITY CONTROL TESTING AGENCY TO BE CONTRACTED BY OWNER	TESTING AGENCY CERTIFICATIONS WILL INCLUDE: ACI, AWS, ASNT, AND PE.
INSPECTION OF STEEL CONSTRUCTION	QUALITY CONTROL TESTING AGENCY TO BE CONTRACTED BY OWNER	TESTING AGENCY CERTIFICATIONS WILL INCLUDE: ACI, AMS, ASNT, AND PE.
INSPECTION OF SOILS CONDITIONS	QUALITY CONTROL TESTING AGENCY TO BE CONTRACTED BY OWNER	TESTING AGENCY CERTIFICATIONS WILL INCLUDE: ACI, AMS, ASNT, AND PE.

ACRONYMS INCLUDE:
ACI - AMERICAN CONCRETE INSTITUTE CERTIFED CONCRETE FIELD TESTING TECHNICIAN
AMS - AMERICAN WELDING SOCIETY OF NON-DESTRUCTIVE TESTING

ASNT - AMERICAN SOCIETY OF NON-DESTRUCTIVE TESTING
AWCI - ASSOCIATION OF WALL AND CEILING INDUSTRIES
MCA - MODEL CODE AGANCY (ICC, BOCA, SBCCI, ICBO) SPECIAL INSPECTION CERTIFICATION

PA - PROFESSIONAL ARCHITECT (CURRENTLY LICENSED)

PE - PROFESSIONAL ENGINEER (CURRENTLY LICENSED)
OTHER - SPECIALIZED TRAINING COURSEWORK OR OTHER BASIS FOR COMPETENCY DEEMED ACCEPTABLE.



BASEMENT LEVE	L		FIRST FLOOR			SECOND FLOOR		
OVERALL: UNITS: ELEV/STAIRS/ CORRIDOR: TRASH ROOM: COMMUNITY ROOM: MAINTENANCE SHOP: BICYCLE/RESIDENT STORAGE: ELEC / MECH: H/C TOILET:	2,627 gsf 86 gsf 978 gsf	3,867 nsf 2,267 nsf 72 nsf 900 nsf 213 nsf 404 nsf 895 nsf 51 nsf 51 nsf	OVERALL: UNITS: ELEV/STAIRS/ CORRIDOR: TRASH ROOM: ELECTRICAL ROOM: TOILET ROOM: OFFICE: LAUNDRY: MANAGER'S OFFICE:	9,722 gsf 6,367 gsf 2,547 gsf 74 gsf 127 gsf 52 gsf 137 gsf 218 gsf 171 gsf		OVERALL: UNITS: ELEV/STAIRS/ CORRIDOR/: TRASH ROOM: ELECTRICAL ROOM:	9,713 gsf 7,031 gsf 2,331 gsf 145 gsf 206 gsf	
THIRD FLOOR OVERALL: UNITS: ELEV/STAIRS/ CORRIDOR/: TRASH ROOM: ELECTRICAL ROOM:		 6,733 nsf 1,770 nsf 116 nsf 57 nsf	FOURTH FLOOR OVERALL: UNITS: ELEV/STAIRS/ CORRIDOR/: TRASH ROOM: ELECTRICAL ROOM:		6,489 nsf 2,117 nsf 116 nsf	FIFTH FLOOR OVERALL: UNITS: ELEV/STAIRS/ CORRIDOR/: TRASH ROOM: ELECTRICAL ROOM:	9,441 gsf 7,119 gsf 2,090 gsf 145 gsf 87 gsf	
SIXTH FLOOR OVERALL: UNITS: ELEV/STAIRS/ CORRIDOR/: TRASH ROOM: SERVICE CORRIDOR:		3,852 nsf 1,770 nsf 116 nsf 57 nsf	ELEVATOR PENT OVERALL: ELEVATOR PENTHOUSE:	HOUSE 535 gsf 535 gsf	 374 nsf			

ZONING DATA

LOCAL NEIGHBORHOOD COMMERCIAL (LNC)

City of Pittsburgh, Pennsylvania - Zoning Ordinances Building Parcel:
Off-Street Parking Parcel(s): 12-F-309 **Existing Multi-Suite Residential** 54-Units 12-F-274 **Existing Open Lot** 19-Spaces **Off-Street Parking Parcel:** 12-G-225 **Existing Open Lot** 29-Spaces **Existing Open Lot** Off-Street parking Parcel: 12-F-358 8-Spaces *Subject Property directly abuts Residential District to the East & opposite side of Sidney Street to the North

Intent to convert building from existing 54-Unit Multi-Suite Residential to 62-Unit Multi-Unit Residential (Market Rate Apartments)

DESCRIPTION

REQUIRED

PROPOSED

VARIANCE

ORDINANCE SECTION

Local Neighborhood Commercial (LNC):

Primary Uses Table 911.02 Multi-unit Residential Permitted 904.02.B.2 Site Development Standards Required in LNC where adjacent to Residential Districts Minimum Net Lot Area 0 Acres Verify per ALTA Survey 904.02.C maximum Floor Area ratio 2:1 904.02.C 904.02.C 90% Maximum Lot Coverage Verify per ALTA Survey 904.02.C Minimum Front Building Setback None Required Existing - None Provided Minimum Rear Setback (when not adjacent to a way) Not Applicable 904.02.C Existing - None Provided 904.02.C Minimum Rear Setback (when adjacent to a way) None Required 904.02.C Minimum Exterior Sideyard Setback None Required Existing - Varies Existing - Varies 904.02.C Minimum Interior Sideyard Setback None Required Maximum Building Height (excluding parapet walls) 45 feet (3-stories max) Existing non-conforming (6-stories) 904.02.C Multi-Unit Residential (Special Requirements):

No special requirements listed for Multi-Unit Residential in "LNC" District

<u>Accessory Structures:</u>

The Following accessory uses, activities and structures shall be permitted by-right in non-residential districts: 912.03

- Dumpsters
- Fences and Retaining Walls

Off-street parking Areas
 Other necessary and customary uses determined by the Zoning Administrator to be

appropriate, incidental & subordinate to the primary use on the lot

PARKING LOADING AND ACCESS:

Off-street parking and loading facilities shall be provided for any change of occupancy or manner of operation that would, based on parking schedules A or B (Sec.914.02.A and Sec.914.02.B) or the off-street Loading Schedule of Sec.914.10, result in a requirement for more parking or loading spaces than the existing or more recent use. Additional parking or loading spaces shall be required only in proportion to the extent of the change, not for the entire building or use.

Schedule A - Multi-Unit Residential

Bicycle Parking
Locations and Facilities:

Minimum 1 space / Unit (54 proposed units)
Incentive to reduce car-related congestion in the City
- Area to be well-lighted
- Bicycle Parking to be as conveniently located with Car parking

- Bicycle parking shall not interfere with accessible paths of travel
- Bicycle parking Requirement (Multi-Unit Residential):

Street Parking Reduction for Bicycle parking

- Bicycle parking shall not interfere with accessible paths of travel
- Bicycle racks shall be located in highly visible areas to minimize theft

1 per 3 dwelling units or a fraction thereof (18 required)

30% max. of the total required spaces (20 proposed)

914.05.E.2

PARKING FOR PERSONS WITH DISABILITIES

Number of Spaces (51 to 75 spaces required):3 ADA spaces requiredWill provide 3 spaces914.06.AMinimum ADA Parking Space Size8 feet x 19 feetWill Comply914.06.BMinimum ADA Access Aisle Width5 feetWill Comply914.06.B* Parking Access aisles shall be part of an accessible route into the building. parking spaces and access aisles shall be level with surface slopes

not exceeding 1:50 (two (2) percent) in all directions.

Location of spaces:

Accessible parking spaces shall be located on the shortest 914.06.C accessible route of travel from adjacent parking to an accessible

Special Exceptions (Off-Site Parking):

- Off-site parking shall be located no more than 1000 feet from the primary entrance of the building served
- Off-site parking shall be considered accessory uses of the

Parking Stall dimensional Standards

Minimum Parking Space Size (90 Degree Parking)

Minimum Two-Way Aisle Width (90 Degree Parking)

Bumper Overhang (90 Degree Parking)

* Existing to be verified

Existing to be verified

914.09.H.1

Existing to be verified

914.09.H.1

Existing to be verified

914.09.H.1

* Existing parking in open lot on parcels 12-F-274 and 12-F-296 is angled parking at less than 90 Degree Parking. Stall dimensions to be verified to determine conformance to the Parking Standard.

Off-Street Loading (50,001 to 80,000 sf floor area) 1 required 1 Existing provided on street 914.10.A

*Existing loading zone to be verified to determine conformance to the Loading Standard.

Residential Compatibility Standards:

Building Height and Setback Standards

Shall apply in all development in non-residential base zoning

916.01.B.1

districts when such development is located across the street or adjacent to a property that is zoned R1D, R1A, R2, R3, or H

Exemptions

Where an existing building or structural alteration does not

increase the building's square footage or height it shall be exempt

from compliance with the Residential Compatibility Standards

* The property is "Existing non-conforming" due to adjacent residential zoning district to the east of the property and the residential zoning district across Sidney street to the north. Proposed renovations do not anticipate increase to the building square footage or height so the exemption would apply. If additions or increase in building height are considered a Zoning review will be scheduled to determine required variances.

2018 INTERNATIONAL ENERGY CONSERVATION CODE					
TITLE		REFERENCE REQUIREMENT		PROVIDED	
CLIMATE ZONE - ALLEGHENY	COUNTY, PENNSYLVANIA	TABLE C301.1	CLIMATE ZONE 5A - GROUP R - COMMERCIAL	-	
OPAQUE ASSEMBLIES	ROOFS	TABLE C402.1.3			
	ROOFS - INSULATION ABOVE ROOF DECK		R-30 CI	WILL COMPLY	
	WALLS, ABOVE GRADE (MASS)		R-13.3 CI (EXISTING EXTERIOR WALLS)	NOT APPLICABLE	
	WALLS, BELOW GRADE (MASS)		R-7.5 CI (EXISTING EXTERIOR WALLS)	NOT APPLICABLE	
	WALLS, ABOVE GRADE - MTL FRAMED		R-13 + R-13 CI * (EXISTING EXTERIOR WALLS)	NOT APPLICABLE	
	FLOORS (MASS) FLOORS (JOIST FRAMING)		R 12.5 CI (EXISTING CONCRETE SLAB FLOORS) R-30	NOT APPLICABLE NOT APPLICABLE	
	SLAB-ON-GRADE FLOORS		UN-HEATED = R-IO FOR 24" BELOW HEATED = R I5 FOR 36" BELOW + R-5 (FULL SLAB)	NOT APPLICABLE NOT APPLICABLE	
-	OPAQUE DOORS		R-4.75	WILL COMPLY	
			APPECAL PRINCEDATION		
FENESTRATION		TABLE C402.4	VERTICAL FENESTRATION		
	U-FACTOR		FIXED FENESTRATION = U .38 OPERABLE FENESTRATION = .U .45 ENTRANCE DOORS = U .77	WILL COMPLY WILL COMPLY WILL COMPLY	
	SHGC - ALL TYPES		SHGC: PF < 0.2 = 0.38 (SEW) & 0.51 (N) SHGC: 0.2 < PF < 0.5 = .46 (SEW) & 0.56 (N) SHGC: PF > .5 = 0.61 (SEW) & 0.61 (N)	MILL COMPLY MILL COMPLY MILL COMPLY	
	U-FACTOR		SKYLIGHTS U 0.50	NOT APPLICABLE	
	SHEC		0.40	NOT APPLICABLE	

OWNER

STANDARD

1901 AVENUE OF THE STARS
SUITE 395
LOS ANGELES, CA 90067
P: 212-249-2134 (NY OFFICE)
P: 310-553-5711 (LA OFFICE)
www.standardproperty.com

CONSULTANT

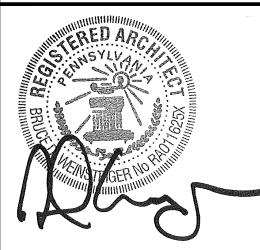
Building Systems Engineering Group
4949 Liberty Lane, Suite 115, Allentown, PA 18106
P: 610-351-8225 F: 610-351-8210
www.bseg-ce.com
BSEG Project No: 25.0008.000

CONTRACTOR



LANCASTER, PA 17602 P: 717-394-0799 F: 717-394-0288 www.cheinc.com

CONSULTANT



SEAL

ARCHITECT



Architecture and Interior Design

Bruce D. Weinsteiger . AIA James L. Cherry, III . AIA www.arconcepts.com 610.518.1596T 610.873.1587 F

626 West Lincoln Highway Exton . Pennsylvania 19341

The Grimmet Mansion

CARSON SQUARE
APARTMENTS
PHFA#: TC2024-118

PROJECT

RENOVATIONS
2112 SIDNEY STREET
PITTSBURGH, PENNSYLVANIA
15203

REVISIONS

Date Revision

Title:

BUILDING DATA

AND

ZONING

SSUE Phase:

ZONING SUBMITTAL

SSUE Date:

APRIL 11, 2025

Drawing Scale:

Drawing Scale:

AS NOTED

Drawing Path:

23-069 CARSON SQUARE APARTMENTS

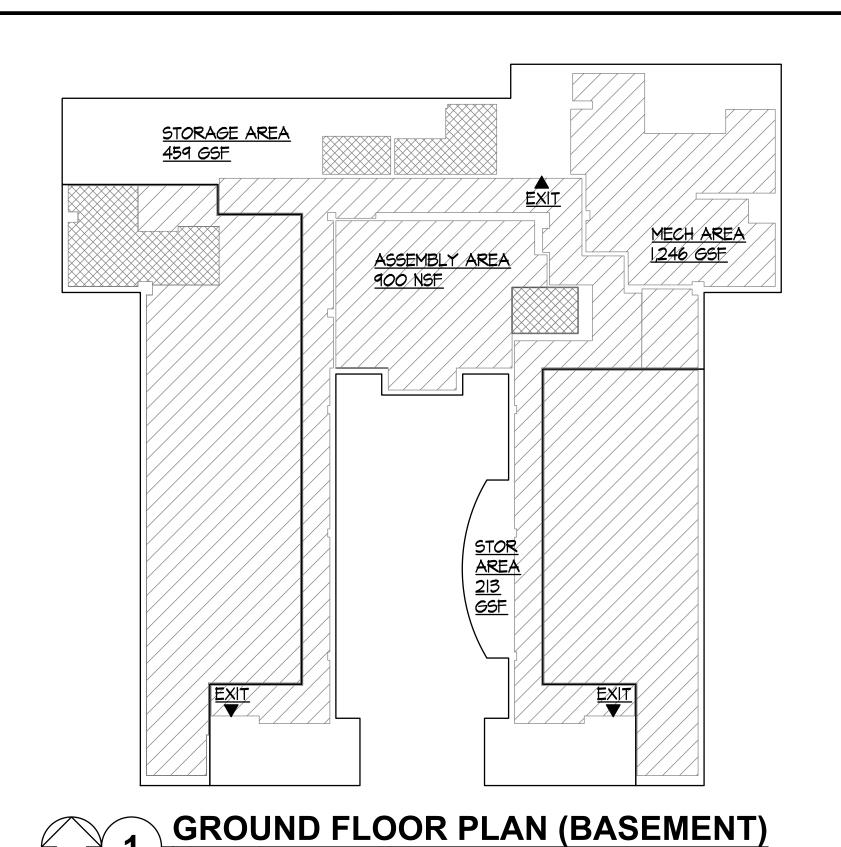
Drawn By:

Reviewed By:

B. WEINSTEIGER, A

HOMPSON
Number:
23-069
ne:
A005

2-BDRM

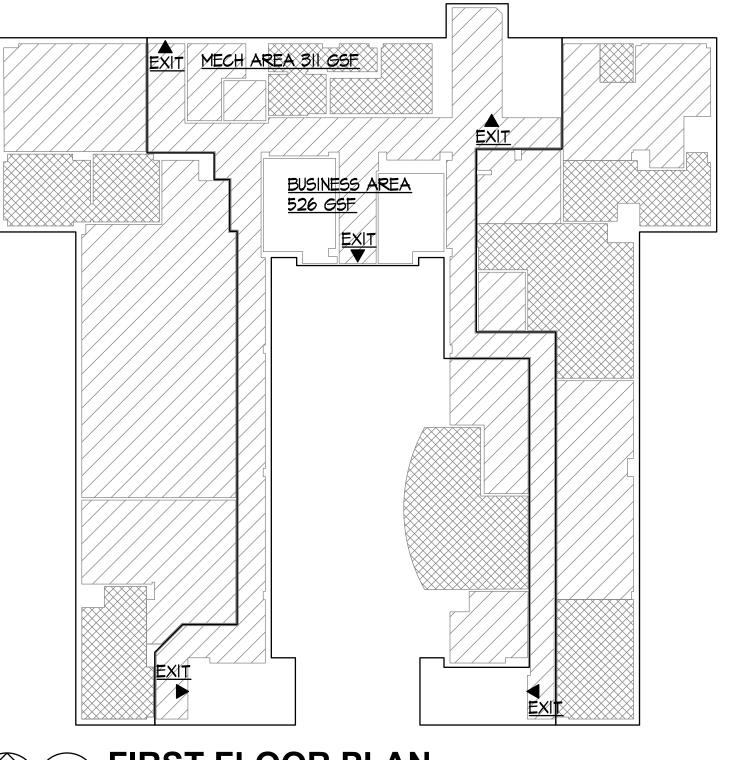


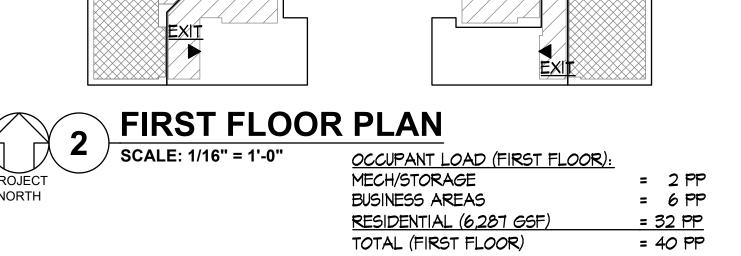
OCCUPANT LOAD (BASEMENT)

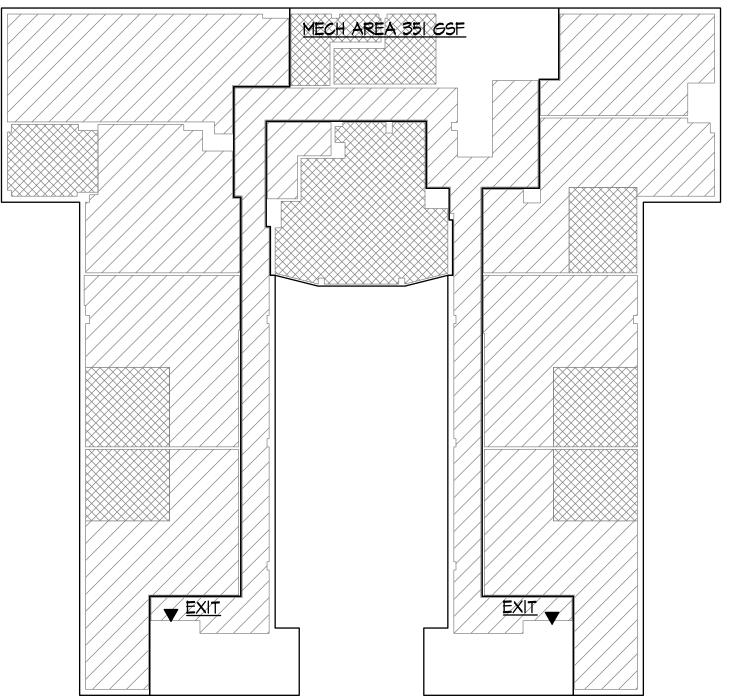
ASSEMBLY (UNCONCENTRATED)

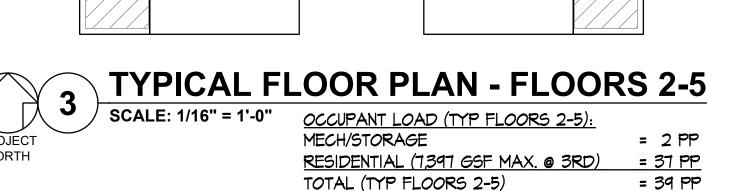
RESIDENTIAL (4,203 GSF)

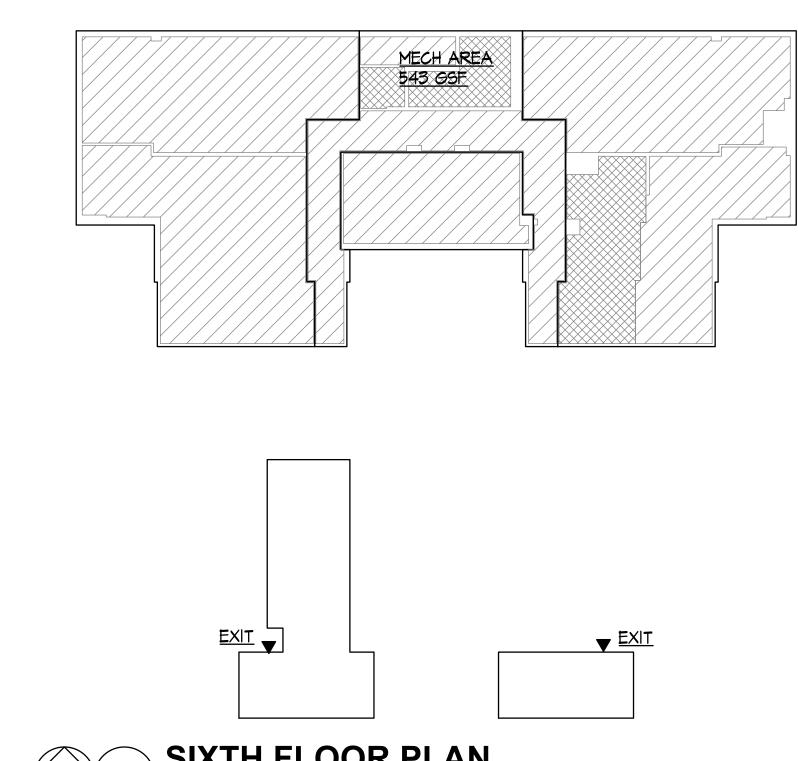
MECH/STORAGE











SIX I II FLOOP	SIX I II FLOOK FLAIN					
SCALE: 1/16" = 1'-0"	OCCUPANT LOAD (SIXTH FLOOR):					
	MECH/STORAGE	= 2 PP				
	RESIDENTIAL (4,273 GSF)	= 22 PP				
	TOTAL (SIXTH FLOOR)	= 24 PP				

	TOTAL (B)	$\frac{1AL(4,205(65F))}{4SEMENT} = \frac{21PP}{4SEMENT}$	TOTAL (FIRST FLOC
			·
		18 INTERNATIONAL EXISTING	
PROVI	SIONS FOR	ALL COMPLIANCE METHODS	5 - CHAPTER 3: ACCESSIBLITY
TITLE	REFERENCE	ALLOWABLE OR REQUIRED	COMMENTS OR PROVIDED
ACCESSIBLILITY ACCESSIBILITY	305.6 EXCEPTION 4		TYPE B UNITS ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS WHERE WORK AREA IS LETHAN 50 PERCENT OF THE AGGREGATE AREA OF THE BUILDING
ENTRANCES	305.8.1	ACCESSIBLE ENTRANCE REQ'D	EXISTING NON-COMPLIANT ENTRANCE RAMP TO THE BUILDING WILL BE REPLACED WITH A FULLY COMPLIANT ACCESSIBLE RAMP MEETING REQUIREMENTS OF ICC AIIT.I
ELEVATORS	305.8.2	ALTERED ELEMENTS OF EXISTING ELEVATORS SHALL COMPLY W ASME AIT.I AND ICC AIIT.I	A COMPLETE ELEVATOR MODERNIZATION MEETING THE REQUIREMENTS OF ASME AIT.I AND ICC AIIT.I IS INCLUDED IN THE SCOPE OF WORK
PLATFORM LIFTS	305.83	PERMITTED TO BE INSTALLED	NOT APPLICABLE
RAMPS	305.8.5	1:10 TO 1:8 = 3" MAX RISE 1:12 TO 1:10 = 6" MAX RISE	EXISTING NON-COMPLIANT ENTRANCE RAMP TO THE BUILDING WILL BE REPLACED WITH A FULLY COMPLIANT ACCESSIBLE RAMP MEETING REQUIREMENTS OF ICC AIIT.I
ACCESSIBLE DWELLING OR SLEEPING UNITS	305.8.6	MUST COMPLY WITH SECTION 1107 OF 1BC	ONLY DWELLING UNITS BEING ALTERED SHALL COMPLY WITH IBC SEC 1107
TYPE A UNITS	305.8.1	WHERE > 20 UNITS ALTERED, REQUIREMENTS OF SECTION 1107 APPLY ONLY TO QUANTITY OF SPACES BEING ALTERED	SCOPE OF WORK INCLUDES SIX (6) NEW TYPE A DWELLING UNITS. THESE UNITS SHALL COMPLY WITH SECTION 1107 OF THE IBC
TYPE B UNITS	305.8.8	WHERE GROUP R-2 DWELLING UNITS ARE BEING ALTERED	THE REQUIREMENTS OF IBC SECTION 1107 FOR TYPE B UNITS APPLIES ONLY TO THE QUANTITY OF UNITS OR SPACES BEING ALTERED
JURY BOXES AND WITNESS STANDS	305.8.9	NOT REQ'D IF ACCESSIBLE ROUTE CREATES MEANS OF EGRESS HAZARD	NOT APPLICABLE
TOILET ROOMS	305.8.10	AT INACCESSIBLE TOILET ROOMS, DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST FAMILY OR ASSISTED USE TOILET ROOM SHALL BE PROVIDED	INTENT TO PROVIDE DIRECTIONAL SIGNAGE TO BASEMENT LEVEL PUBLIC TOILET ROOMS. SIGNAGE WILL MEET THE REQUIREMENTS OF ICC AIIT.I
DRESSING, FITTING, AND LOCKER ROOMS	305.8.12	WHERE TECHNICALLY INFEASIBLE TO MAKE ACCESSIBLE, A SEPARATE ROOM SHALL BE PROVIDED	NOT APPLICABLE
FUEL DISPENSERS	305.8.13	54" AFF MAX FROM VEHICLE WAY	NOT APPLICABLE
THRESHOLDS	305.8.14	3/4" BEVELED MAX	ALL THRESHOLDS ARE COMPLIANT
		CLASSIFICATION OF WORK -	- CHAPTER 6
TITLE	REFERENCE	ALLOWABLE OR REQUIRED	COMMENTS OR PROVIDED
CLASSIFICATION OF WORK ALTERATION - LEVEL I	602.1	REMOVAL AND REPLACEMENT OF EXISTING COVERING MATERIALS, ELEMENTS AND EQUIPMENT	COMPLY WITH CHAPTER 7
CLASSIFICATION OF WORK ALTERATION - LEVEL 2	603.1	RECONFIGURATION OF SPACE, ADDITION OR ELIMINATION OF DOOR WINDOW, SYSTEM EQUIP.	COMPLY WITH CHAPTER 8
WORK	AREA CO	MPLIANCE METHOD - CHAPTE	R 7: ALTERATIONS - LEVEL I
TITLE	REFERENCE	ALLOWABLE OR REQUIRED	COMMENTS OR PROVIDED
INTERIOR FINISHES	702.1	MUST MEET IBC 2018 - TABLE 803.13 (R-2 SPRINKLERED)	EXIT ENCLOSURES AND EXIT PASSAGEWAYS = C CORRIDORS = C ROOMS AND ENCLOSED SPACES = C
FLOOR FINISHES	702.2	MUST MEET IBC 2018 - SECTION 804	CLASS II OR PILL TEST COMPLIANT
INTERIOR TRIM	702.3	MUST MEET IBC 2018 - SECTION 806	ALL NEW TRIM MUST MEET CURRENT CODE AND TESTING REQUIREMENTS
WINDOW OPENING CONTROL DEVICES in R-2 DWELLINGS	702.4	REQUIRED WHERE AN EXISTING WINDOW IS REPLACED	NO EXISTING WINDOWS ARE SCHEDULED TO BE REPLACED. WILL COMPLY FOR NEW WINDOWS.
MATERIALS AND METHODS	702.6	ALL NEW WORK MUST COMPLY WITH CURRENT CODES, AS APPLICABLE	ALL NEW WORK MUST MEET CURRENT CODE AND TESTING REQUIREMENTS
FIRE PROTECTION	703.1	MAINTAIN LEVEL OF PROTECTION PROVIDED	ALL WORK MAINTAINS THE CURRENT LEVEL OF PROTECTION PROVIDED
MEANS OF EGRESS	704.1	REPAIRS MAINTAIN LEVEL OF PROTECTION PROVIDED	ALL WORK MAINTAINS THE CURRENT LEVEL OF PROTECTION PROVIDED
REROOFING	705.1	RE-ROOFING COVERINGS: COMPLY WITH CH. 15 OF IBC	EXCEPTION I: ROOF REPLACEMENT IS NOT REQUIRED TO MEET 2% SLOPE REQUIREMENT EXCEPTION 2: ROOF REPLACEMENT IS NOT REQUIRED TO MEET REQUIREMENT FOR SECONDARY (OVERFLOW) DRAINS.
STRUCTURAL	707.1	STRUCTURAL ROOF COMPONENTS SHALL BE CAPABLE OF SUPPORTING REPLACEMENT OF EQUIPMENT	NO STRUCTURAL IMPLICATIONS ANTICIPATED
ENERGY CONSERVATION	708.1	EXISTING BUILDING NOT REQUIRED TO COMPLY WITH	LEVEL I ALTERATIONS DO NOT REQUIRE THE ENTIRE BUILDING TO COMPLY WITH THE

<u>GENERAL NOTES:</u>

- THIS WORK IS DESIGNED TO BE IN COMPLIANCE WITH IEBC 2018.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS, LAWS, RULES, REGULATIONS, AND ORDINANCES OF FEDERAL, STATE, COUNTY, OR AUTHORITIES RELATING THERETO. NO WORK SHALL BEGIN AT THE SITE UNTIL APPLICABLE APPROVALS AND REQUIRED PERMITS HAVE BEEN OBTAINED COVERING SUCH WORK. SUBCONTRACTORS
- 3. THE BUILDING, FACILITY OR ELEMENT THAT IS ALTERED SHALL COMPLY WITH THE APPLICABLE PROVISIONS IN SECTIONS 305.6 THROUGH 305.8.14 OF THE IEBC, CHAPTER II OF THE IBC AND ICCAIT.I UNLESS IT IS TECHNICALLY INFEASIBLE. IF INFEASIBLE, THE ALTERATIONS SHALL PROVIDE ACCESS TO THE MAXIMUM EXTENT THAT IS TECHNICALLY FEASIBLE
- 4. THE SCOPE OF THE PROJECT INCLUDES ALL WORK SHOWN OR REASONABLY INFERRED ON THE DRAWINGS AND SPECIFICATIONS TO BE PERFORMED BY THE GENERAL CONTRACTOR AND QUALIFIED SUBCONTRACTORS. THE WORK CONSISTS OF ALL LABOR, MATERIAL, AND SUPERVISION REQUIRED BY THESE DRAWINGS.

ARE TO VERIFY AND ASSURE PROPER CODE COMPLIANCE FOR ALL ASPECTS OF CONSTRUCTION WITHIN THEIR RESPECTIVE TRADES. PERMITS TO BE PART OF WORK.

THE GENERAL CONTRACTOR (HEAREAFTER GC), WILL:

B) VERIFY AND/OR ESTABLISH ALL DIMENSIONS, ELEVATIONS AND CONDITIONS IN THE FIELD AND BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE STARTING THE WORK.

C) PROTECT AND STORE ALL FIXTURES, HARDWARE, ETC. AS WELL AS EQUIPMENT SPECIFIED HEREIN FOR THE DURATION OF THE JOB.

D) COORINDATE WITH LOCAL UTILITIES, INCLUDING UNDERGROUND SERVICES, FOR WATER DRAINAGE, GAS, ELECTRICAL SERVICES, ETC. FOR APPLICABLE CONNECTIONS AS MAY BE REQUIRED.

E) BE HELD TO HAVE EXAMINED THE JOB SITE TO BECOME FAMILIAR WITH AND BE SATISFIED AS TO THE CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE IN PERFORMING THE WORK. F) SHALL REVIEW SHOP DRAWINGS. ANY DRAWINGS THE GC DEEMS NECESSARY TO BE SUBMITTED FOR ARCHITECT'S REVIEW AND APPROVAL SHALL BEAR THE GC'S SHOP DRAWING APPROVAL

REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

STAMP INDICATING THAT ALL DIMENSIONS AND ASSEMBLY OF COMPONENTS HAVE BEEN REVIEWED BY THE GC WITH EACH RESPECTIVE TRADE FOR COMPLIANCE WITH THE PROJECT REQUIREMENTS.

- G) OBTAIN ALL PERMITS REQUIRED FOR THE COMPLETION OF THE WORK AND ALL SHALL CONFORM TO THE REGULATIONS AND REQUIREMENT OF THE AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DRAWINGS. LARGE DETAILS TAKE PRECEDENT OVER SMALLER SCALED DRAWINGS AND WRITTEN DIMENSIONS TAKE PRECEDENT OVER GRAPHICS. NOTIFY THE ARCHITECT IN
- CASE OF DISCREPANCIES OR FOR CLARIFICATIONS BEFORE PROCEEDING WITH THE WORK. INTERIOR DIMENSIONS ARE TO FINISHED SURFACE UNLESS NOTED OTHERWISE
- THE WORK CONSISTS OF ALL LABOR, MATERIAL AND SUPERVISION REQUIRED BY THESE DRAWINGS.

IECC

A) AT ALL TIMES PROTECT THE PROPERTY OF THE OWNER AND ADJOINING PROPERTIES;

- STRINGENT REQUIREMENTS ARE SPECIFIED.
- INSTALL ALL MATERIALS PER MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS, SPECIFICATIONS AND RECOMMENDATIONS UNLESS MORE
- NO PRODUCTS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED ON THIS PROJECT OR USED DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF HTE CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN MET. SUBCONTRACTOR SHALL VRIFY TO THE GENERAL CONTRACTOR THAT NO ASBESTOS OR HAZARDOUS PRODUCTS

ARE USED IN THEIR WORK. 12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK, AND CONTRACTOR SHALL BE RESPONSIBLE FOR SAME.

10. SPECIAL CARE IS TO BE TAKEN TO INSURE THAT RATED PARTITIONS AND OTHER ASSEMBLIES POSITIVELY SEAL AT ALL CONDUIT, DUCTWORK, PIPING OR ANY OTHER PENETRATIONS.

LEGEND:

NO WORK THIS AREA ALTERATION LEVEL I

ALTERATION LEVEL 2 (LESS THAN 50% OF FLOOR)

IEBC 2018 EXISTING BUILDING CODE:

- R-2 RESIDENTIAL <u>USE GROUP:</u> BUILDING AREA - 64,410 SF TOTAL

TOTAL. THE EXISTING CONSTRUCTION TYPE IS 2-A

BUILDING HEIGHT - 6 STORIES, < 75'-0" SECTION 602 \$ 603 - LEVEL | \$ 2 ALTERATIONS (SEE DRAWING A005)

ASME AIT.I-2000 CODE REQUIREMENTS:

PA ELEVATOR PLAN REVIEW & INSPECTION REQUIREMENTS - ALL REPAIRS, REPLACEMENT AND ALTERATIONS OF ELEVATORS SHALL COMPLY WITH THE APPLICABLE SECTION OF THE ASME AIT.I-2000 (INCLUDING THE AIT.Ia-2002 ADDENDA) LISTED BELOW: SECTION 8.6.2 (REPAIRS) SECTION 8.6.3 (REPLACEMENTS) SECTION 8.7 (ALTERATIONS) - AN APPROVED ELEVATOR PERMIT MUST BE OBTAINED

BEFORE AN ALTERATION, REPLACEMENT, OR REPAIR IS

SCOPE OF WORK:

THE EXISTING 6-STORY OCCUPIED BUILDING IS APPROXIMATELY 64,410 SF

MADE TO AN ELEVATOR OR LIFTING DEVICE.

THE BUILDING USE ID R-2, MULTI-FAMILY APARTMENTS. THE BUILDING CONTAINS

THE PROPOSED RENOVATIONS INCLUDE: RENOVATIONS TO ACCESSIBLE UNITS TO PROVIDE ADA COMPLIANCE TO THE MAXIMUM EXTENT POSSIBLE; SELECTIVE REPLACEMENT OF PLUMBING AND LIGHTING FIXTURES; SELECTIVE REPLACEMENT OF FINISHES; REPLACEMENT OF ROOF AND ROOF INSULATION; MODERNIZATION OF 2 ELECTRIC TRACTION ELEVATORS, AND REPAIRS TO PUBLIC WALKS AND

			8 8: ALTERATIONS - LEVEL 2
TITLE	REFERENCE	ALLOWABLE OR REQUIRED	COMMENTS OR PROVIDED
COMPLIANCE	801.3	ALL NEW ELEMENTS SHALL COMPLY WITH IBC 2018	EXCEPT: LIGHT AND VENTILATION REQ OF WINDOWS, ELEC EQUIPMENT PER 801, DEAD ENDS PER 805.6, AND CEILING HEIGHTS OF 7'-0"
BUILDING ELEMENTS AND MATERIALS VERTICAL OPENINGS	802.2(II) 803.2(II.2)	30 MIN < 3 STORIES O HOUR IF FULLY SPRINKLED	NOT APPLICABLE
SUPPLEMENTAL ENCLOSURE REQMTS	802.2.2	ALL ENCLOSURES MUST BE PROTECTED IF WORK AREA > 50%	NOT APPLICABLE
SUPPLEMENTAL STAIRWAY REQMTS	802.2.3	ALL STAIRWAYS MUST BE ENCLOSED WITH SMOKE-TIGHT CONSTRUCTION IF WORK AREA > 50%	STAIRWAYS ARE FULLY ENCLOSED - NOT APPLICABLE
SMOKE COMPARTMENTS	802.3	I-2 OCCUPANCY - REQUIRED	NOT APPLICABLE
INTERIOR FINISH	802.4	ALL FINISHES MUST MEET IBC 2018 EXISTING FINISHES MAY BE TREATED WITH AN APPROVED FIRE-RETARDANT COATING.	EXIT ENCLOSURES AND EXIT PASSAGEWAYS = C CORRIDORS = C ROOMS AND ENCLOSED SPACES = C
GUARDS	802.5	REQUIRED IN LOCATIONS PER IBC	ALL BALCONY'S & LOADING DOCKS WILL REPAIR, REPLACE OR PROVIDE CODE COMPLIANT GUARDS
FIRE PROTECTION SPRINKLER SYSTEMS	803.2.2	REQUIRED WHERE WORK AREA >50%	EXIST BLDG- FULLY SPRINKLERED - SYSTEM WILL BE ALTERED AS REQ'D TO MAINTAIN COMPLIANCE
STANDPIPES	803.3	REQUIRED IF SHARED EXIT OR > 50' ABOVE OR BELOW EXIT DISCHARGE	EXIST SYSTEM INCLUDES STANDPIPES - SYSTEM WILL BE ALTERED AS REQ'D TO MAINTAIN COMPLIANC
FIRE ALARM SYSTEM	803.4.1.6	REQUIRED IN R-2 WORK AREAS	EXISTING FIRE ALARM SYSTEM TO REMAIN. NEW APPLIANCES AND DEVICES TO CONNECT TO EXISTING SYSTEM
SMOKE ALARMS	803.4.3	SLEEPING UNITS AND DWELLING UNITS IN WORK AREAS	EXISTING SMOKE DETECTORS TO REMAIN - ALTERATIONS WILL COMPLY W INTERNATIONAL FIRE COL
CARBON MONOXIDE DETECTION	<i>80</i> 4.l	WORK AREAS IN GROUP R OCCUPANCIES	CARBON MONOXIDE DETECTORS REQUIRED IN ACCORDANCE WITH SECTION 1103.9 OF THE IFC
MEANS OF EGRESS	<i>80</i> 5.2	MEANS OF EGRESS SHALL COMPLY	EXCEPTION TO ALLOW PER COMPLIANCE OF IN-PLACE "MEANS OF EGRESS" DURING ORIGINAL CONST
NUMBER OF EXITS	<i>80</i> 5.3	PER IBC 2018: 1-500 OCCUPANTS PER STORY = 2 EXITS REQUIRED	TWO EXITS EXISTING
MEANS OF EGRESS TWO EGRESS DOOWAYS REQ'D	<i>80</i> 5.4.I	2 EXITS REQD FROM WORK AREA WHEN > 50 PERSONS WHEN > 75'-O" TO EXIT	TWO EXISTING EGRESS DOORWAYS PROVIDED
DOOR SWING	<i>80</i> 5.4.2	DIRECTION OF TRAVEL WHEN > 50 PERSONS	ALL DOORS SWING IN DIRECTION OF TRAVEL WHERE REQUIRED
DOOR CLOSING	805.4.3	ALL DOORS ON EXIT PASSAGEWAYS OR EXIT STAIRS SHALL BE SELF OR AUTOMATICALLY CLOSING	ALL DOORS WILL BE SELF OR AUTOMATICALLY CLOSING WHERE REQUIRED
PANIC HARDWARE	805.4.4	A OCCUPANCIES > 100 REQUIRED PANIC HARDWARE	ALL DOORS WILL BE EQUIPPED WITH PANIC HARDWARE WHERE REQUIRED
CORRIDOR DOORS	<i>80</i> 5.5.I	DOORS IN WORK AREA SHALL NOT HAVE LOUVERS OR BE HOLLOW CORE WOOD & BE SELF CLOSING	NEW AND EXISTING DWELLING UNIT CORRIDOR DOORS WILL MEET REQUIREMENT OF 805.5.1 AND EXCEPTION 3 (RESIST SMOKE, BE REASONABLY TIGHT FITTING AND NOT CONTAIN LOUVERS).
DEAD END CORRIDORS	805.6	35'-O" MAX OR MAX ALLOWED BY IBC = 50' MAX	NOT APPLICABLE - NO DEAD ENDS PROPOSED
MEANS OF EGRESS LIGHTING	805.7	REQUIRED IN WORK AREAS PER IBC	COMMON AREA EXISTING EGRESS LIGHTING COMPLIES
EXIT SIGNS	805.8	REQUIRED IN WORK AREAS PER IBC	COMMON AREA EXISTING AND PROPOSED NEW EXIT SIGNS WILL COMPLY
HANDRAILS	<i>80</i> 5.9	REQUIRED ON ALL EXIT STAIRS FROM WORK AREA ON AT LEAST ONE SIDE	NEW AND EXISTING HANDRAILS WILL COMPLY
GUARDRAILS	<i>80</i> 5.II	REQUIRED ON ALL EXIT STAIRS FROM WORK AREA AT LOCATIONS PER IBC	NEW AND EXISTING GUARDRAILS WILL COMPLY
STRUCTURAL	<i>806.</i> I	.2 STRUCTURAL ELEMENTS THAT ARE ALTERED OR ADDED SHALL COMPLY WITH IBC .4 ALTERATIONS SHALL NOT REDUCE CAPACITY OF EXISTING GRAVITY LOAD CARRYING ELEMENTS .5 ALTERATIONS SHALL NOT EXCEED 10% GREATER LATERAL DEMAND CAPACITY RATIO	NO ALTERATIONS TO STRUCTURAL ELEMENTS ARE PROPOSED NO NEW STRUCTURAL ELEMENTS REQUIRED
ELECTRICAL	801.1	ALL NEW WORK RELATED TO WORK AREA SHALL BE PER NFPA 10 EXCEPT PER SECTION 801.3	SEE ELECTRICAL DRAWINGS FOR COMPLIANCE
MECHANICAL	808.1	ALL RECONFIGURED SPACES SHALL BE PROVIDED WITH VENTILATION PER IMC.	SEE MECHANICAL DRAWINGS FOR COMPLIANCE
PLUMBING	809.1	PROVIDE FIXTURES PER IPC IF INCREASE IN OCCUPANT LOAD > 20%	NO INCREASE IN OCCUPANCY LOADS EXISTING PLUMBING QUANTITIES ARE ACCEPTABLE
ENERGY CONSERVATION	810.1	BUILDING COMPLIANCE WITH IECC RESTRICTED TO ALTERED ELEMENTS ONLY	ALTERED ELEMENTS WILL COMPLY WITH THE INTERNATIONAL ENERGY CONSERVATION CODE

DEMOLITION NOTES

- ALL AREAS DESIGNATED BY DASHED LINES TO BE REMOVED. THE CONTRACTOR SHALL VERIFY THESE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
- 2. ALL AREAS AND PARTITIONS NOT DASHED OR NOTED TO BE REMOVED SHALL STAY IN TACT. PATCH AND REPAIR WALLS AS REQUIRED AFTER DEMOLITION IN ACCORDANCE WITH PROPOSED RENOVATIONS.
- 3. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR OTHER SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF ELEMENTS TO BE DEMOLISHED AND ADJACENT WORK TO REMAIN.
- 4. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT WATER LEAKAGE DOES NOT DAMAGE THE STRUCTURE.
- 5. LOCATE AND IDENTIFY EXISTING UTILITIES AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND HARDWARE DURING CONSTRUCTION AND DEMOLITION PHASES.
- 6. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTURES WITH OTHER ELEMENTS TO REMAIN USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS; DO NOT USE POWER-DRIVEN IMPACT TOOLS.
- 7. DISPERSE DEMOLITION EQUIPMENT THROUGHOUT STRUCTURE AND PROMPTLY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- 8. COMPLETELY FILL AND COMPACT BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. PROVIDE FILL CONSISTING OF APPROVED EARTH, GRAVEL, OR SAND, FREE OF TRASH AND DEBRIS, STONES OVER 6-INCHES IN DIAMETER, ROOTS, OR OTHER ORGANIC MATTER.
- 9. REMOVE FROM BUILDING SITE DEBRIS, TRASH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE.
- IO. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- II. BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE.
- 12. STORE ITEMS TO BE RELOCATED. CARE SHALL BE TAKEN NOT TO DAMAGE ANY MATERIALS. COORDINATE RELOCATION OF EXISTING MATERIALS WITH DRAWINGS AND WITH THE OWNER.
- 13. COORDINATE ALL DEMOLITION WITH OWNER AND OTHER TRADES. CONFIRM THE EXTENT, TIMING, AND ITEMS TO BE SALVAGED BY OWNER. CONTRACTOR SHALL SCHEDULE WORK SO AS NOT TO UNDULY INTERFERE WITH OWNER'S ONGOING OPERATIONS.
- 14. ALL ELECTRICAL, MECHANICAL, AND PLUMBING SERVICES TO BE RE-USED. TEMPORARILY DISCONNECT EQUIPMENT AND PROTECT UNTIL REINSTALLED. COORDINATE WITH NEW WORK.

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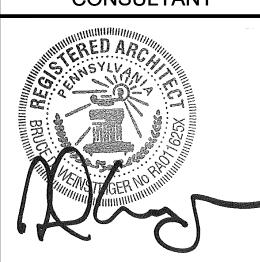
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CONTRACTOR



1270 GROFFTOWN ROAD LANCASTER, PA 17602 P: 717-394-0799 F: 717-394-0288 www.cheinc.com

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SEAL

ARCHITECT



Architecture and Interior Design

lames L Cherry, III . AIA

610.518.1596T 610.873.1587F The Grimmet Mansion 626 West Lincoln Highway

Exton . Pennsylvania 19341

PROJECT

CARSON SQUARE APARTMENTS PHFA#: TC2024-118

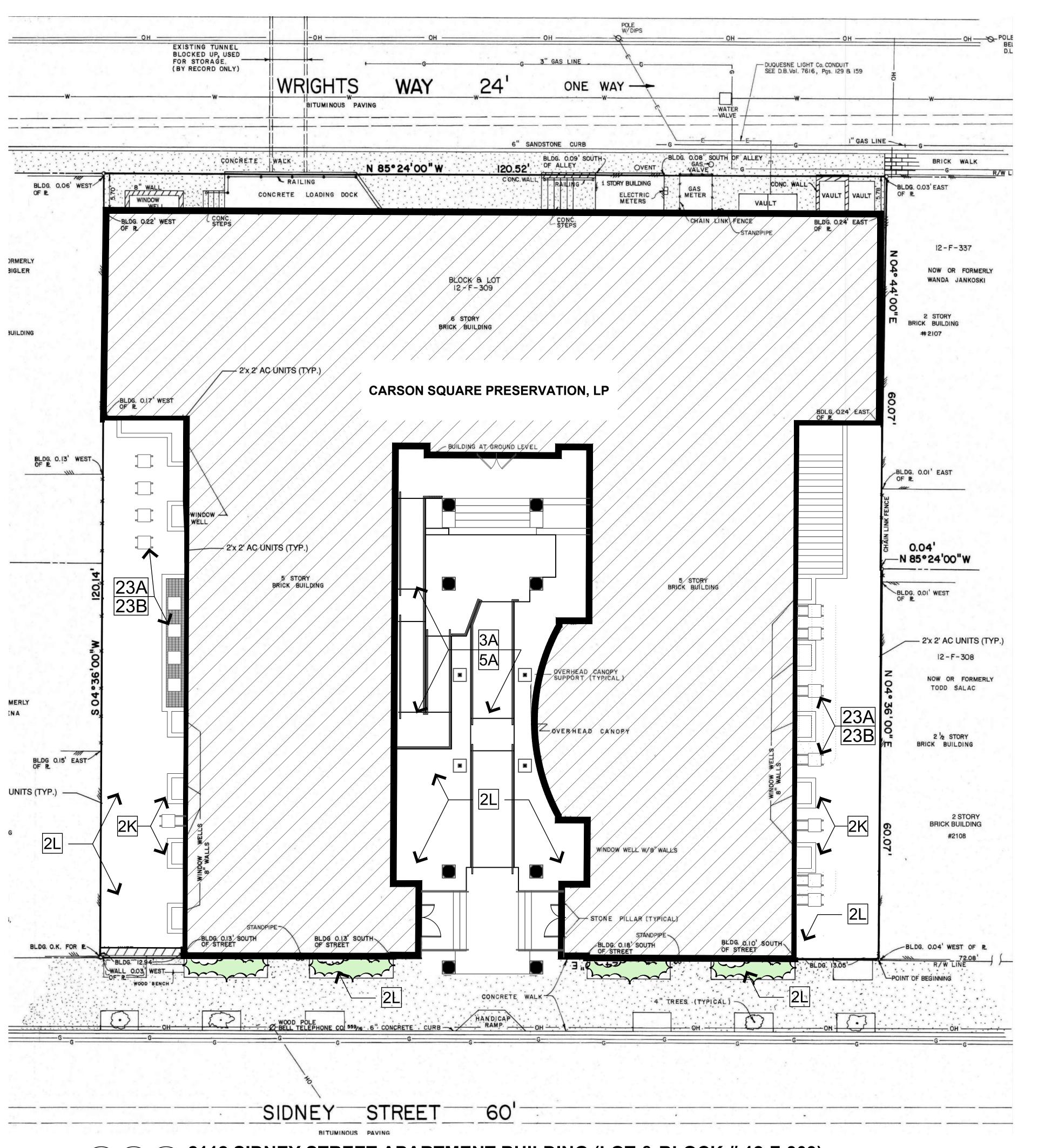
RENOVATIONS 2112 SIDNEY STREET PITTSBURGH, PENNSYLVANIA

REVISIONS		
No.	Date	Revision
Sheet Title:		

CODE REVIEW SHEET

ZONING SUBMITTAL APRIL 11, 2025 AS NOTED 23-069 CARSON SQUARE APARTMENTS B. WEINSTEIGER, AI R. THOMPSON

30" x 42"



2112 SIDNEY STREET APARTMENT BUILDING (LOT & BLOCK # 12-F-309)

SCALE: 1/8" = 1'-0" SITE PLAN BASED ON ALTA/NSPS LAND TITLE SURVEY C-13199-0007 -REVISED 4/II/2018

PARKING:

EXISTING PARKING SPACES (THIS LOT) = O SPACES TOTAL PARKING REQUIRED FOR 54 UNIT RESIDENTIAL APARTMENT BUILDING = 54 SPACES.

- 14,469.06 SF OR 0.332 ACRE PARCEL
- ALL SITE UTILITIES ARE EXISTING TO REMAIN

SITE IMPROVEMENTS, ROADS, AND WALKS:

- MILL AND OVERLAY NEW ASPHALT PAVING SEAL AND RE-STRIPE PARKING LOTS. RE-STRIPING SHALL COMPLY WITH ANSI AIIT.I, SECTION 502; AS WELL AS ALL LOCAL ORDINANCES (SEE NOTES 2B THRU 2F).
- INTENT TO RE-LOCATE ADA COMPLIANT PARKING SPACES FROM THE SIDNEY STREET PARKING LOT TO THE 22ND STREET PARKING LOT TO FACILITATE ADA COMPLIANT ROUTE UTILIZING PUBLIC SIDEWALKS TO THE BUILDING ENTRANCE (SEE NOTES 2B THRU 2F).
- RE-STRIPE PARKING SPACES IN SIDNEY STREET LOT FOR NEW LAYOUT TO PROVIDE FIVE (5) STANDARD PARKING SPACES.
- RE-STRIPE PARKING SPACES IN 22ND STREET LOT FOR NEW LAYOUT TO INCLUDE THREE (3) ADA COMPLIANT PARKING SPACES (INCLUDING ONE (I) VAN ACCESSIBLE PARKING SPACE). INCLUDE STRIPING FOR COMPLIANT ACCESS AISLES TO THE PUBLIC SIDEWALK. PROVIDE ADA COMPLIANT SIGNAGE.
- INSTALL NEW HANDICAP PARKING IDENTIFICATION SIGN THAT INCLUDES THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" SIGNS SHALL BE 60" MINIMUM ABOVE THE FLOOR OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN (SEE 2/SP-3)
- 2F NEW ACCESS AISLE STRIPING TO MEET THE REQUIREMENTS OF ANSI AIIT.I, SECTION 502 AISLE WIDTH TO BE 5'-O" AND SHALL EXTEND FOR THE FULL LENGTH OF THE PARKING SPACES THEY SERVE. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM; USE PAINTED LINES.
- RE-SET EXISTING WHEEL STOPS IN LOCATIONS AS SHOWN (TYP) AND PROVIDE NEW WHEEL STOPS AS REQUIRED TO ENSURE I PER SPACE. ANCHOR IN PLACE WITH #4 BAR (TYP).
- 2H EXISTING TREE TO REMAIN. PRUNE AS REQUIRED.
- EXISTING COMPACT HEDGE TO REMAIN. PRUNE AND INFILL AS REQUIRED.
- CLEAN OUT EXISTING BASEMENT WINDOW AREAWAY(S), REPAIR AND CLEAN WINDOWS AS NECESSARY. INSPECT EXISTING STEEL GRATES. REPAIR OR REPLACE AS NECESSARY.
- PROVIDE NEW LANDSCAPING FOR ADA COMPLIANT RAMPS. G.C. PROVIDE DELEGATED DESIGN OF LANDSCAPING, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

CONCRETE:

- REMOVE EXISTING NON-COMPLIANT RAMPS AT BUILDING COURTYARD. PROVIDE NEW ADA COMPLIANT RAMPS TO MEET THE REQUIREMENTS OF ANSI AIIT.I TO CREATE ACCESSIBLE ROUTE FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. G.C. TO PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN FOR NEW RAMPS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.
- PATCH AND REPAIR EXISTING CONCRETE CURB AND SIDEWALK ON NORTH SIDE OF EXISTING PARKING LOT ADJACENT TO FOX

<u>MASONRY</u>

- 4A SAW-CUT EXISTING MASONRY "GARDEN WALL" REMOVE AND DISPOSE SECTION AS INDICATED ON PLANS & ELEVATIONS. INFILL SOIL TO LEVEL GRADE AT NEW OPENING.
- REFER TO ELEVATIONS FOR SCOPE OF FACADE REPAIRS, INCLUDING POWER WASHING BUILDING EXTERIOR, BRICK MASONRY RE-POINTING, CONTROL JOINT, AND SEALANT JOINT WORK. REPAIR / REPLACE STEEL LINTELS, FLASHING, AND SILLS.
- SAW-CUT MASONRY VENEER AND CAVITY WALL TO ACCOMMODATE INSTALLATION OF NEW ALUMINUM FRAMED DOUBLE-HUNG WINDOW IN UNIT 104. PROVIDE NEW STEEL LINTEL, THRU-WALL FLASHING, AND MASONRY SILL T.M.E. WINDOW TO INCLUDE OPENING LIMITING DEVICE. USE BRICK FROM DEMO TO TOOTH-IN FINISH BRICK AT PERIMETER OF NEW OPENING (REFERENCE NOTE &C).
- CLEAN, PREP AND REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES TO REMAIN, AND ALL NEW STEEL DOORS AND HOLLOW METAL DOOR FRAMES.

METALS:

5A PROVIDE "SLEEVE" MOUNTED GUARD RAILS WITH NEW 42" HIGH GALVANIZED GUARD RAIL WITH 1/2-INCH SQUARE BAR STOCK BALUSTERS @ 4-INCHES O.C. W/ HIGH PERFORMANCE FINISH. G.C. PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN OF GUARDRAILS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND

<u>ROOFING:</u>

REPLACE EXISTING ROOF SYSTEM IN AREAS INDICATED ON DRAWINGS WITH NEW TPO OR EPDM MEMBRANE ROOFING SYSTEM WITH ANODIZED ALUMINUM COPINGS (PER DRAWINGS AND SPECIFICATIONS).

12-F-274

<u>LOT</u>

12-F-296

<u>LOT</u> — <u>12-F-309</u> <u>BUILDING</u>

KEY PLAN

GENERAL NOTE: PROJECT SCOPE INCLUDES RENOVATION OF 54 MULTI-FAMILY APARTMENT UNITS. PROPOSED RENOVATIONS INCLUDE:

- MINOR FACADE REPAIRS
- REPLACE EXISTING NON-COMPLIANT ENTRANCE RAMP WITH NEW ADA COMPLIANT ENTRANCE RAMP
- MODERNIZE ELEVATORS INCLUDING NEW CAB FINISHES
- REPLACE EXISTING ROOF WITH NEW TPO MEMBRANE ROOFING SYSTEM
- REPLACE APARTMENT UNIT SPLIT-SYSTEM A/C UNITS
- REPLACE BUILDING CENTRAL HOT WATER HEATERS & STORAGE TANK.
- RENOVATE FOUR (4) EXISTING TYPE "A" ADA APARTMENT UNITS - PROVIDE HEARING / VISION SIGNALING EQUIPMENT TO TWO (2) ADDITIONAL APARTMENT UNITS.
- REPLACE COMMON AREA INTERIOR AND EXTERIOR DOORS, FRAMES AND HARDWARE - REPLACE APARTMENT UNIT ENTRY DOORS, FRAMES AND HARDWARE.
- REPAIR WALLS AND REPAINT BUILDING INTERIORS.
- PROVIDE NEW FINISH FLOORING IN COMMON AREAS.
- PROVIDE NEW FINISH FLOORING IN APARTMENT UNITS
- ADD KITCHEN TO COMMUNITY ROOM,
- REPLACE KITCHEN CABINETS IN SELECT APARTMENT UNITS
- PROVIDE NEW SOLID SURFACE COUNTERTOPS AND SINK IN ALL APARTMENT UNITS
- PROVIDE NEW KITCHEN APPLIANCES THROUGHOUT
- IMPLEMENT ENTERPRISE GREEN COMMUNITIES-2020 REQUIREMENTS

MECHANICAL:

- 23A REPLACE SPLIT-SYSTEM AIR-CONDITIONER CONDENSER UNIT(S). REPLACE LINE-SETS WHERE INDICATED (SEE MECHANICAL DRAWINGS). RECOVER ALL REFRIGERANT IN A LEGAL MANNER., DISCONNECT EXISTING CONDENSER ELECTRIC AND CONNECT NEW
- 23B RE-USE EXISTING STEEL BUILDING MOUNTED BRACKETS AND GROUND MOUNTED STEEL
- 25C PROVIDE MECHANICAL UPGRADES TO ELEVATOR PENTHOUSE AS REQUIRED TO ACCOMMODATE ELEVATOR MODERNIZATION
- PROVIDE MECHANICAL UPGRADES TO ACCOMMODATE INSTALLATION OF NEW
- 25E REPAIR COMMON AREA HVAC SYSTEMS AS NECESSARY.
- EXHAUST SYSTEM AT ALL APARTMENT UNITS.

CONDENSER UNIT (SEE ELECTRICAL DWGS).

FRAMES FOR SUPPORT OF NEW CONDENSER

COMMUNITY ROOM KITCHEN.

25F INSTALL EXTERIOR KITCHEN AND BATH

CONTRACTOR

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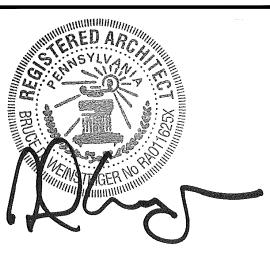
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ARCHITECTURAL CONCEPTS, PC rchitecture and Interior Desig

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PROJECT

CARSON SQUARE APARTMENTS PHFA#: TC2024-118

RENOVATIONS 2112 SIDNEY STREET PITTSBURGH, PENNSYLVANIA 15203

REVISIONS

12-6-225

PRIMARY BUILDING LOT & BLOCK # 12-F-309

ZONING SUBMITTAL APRIL 11, 2025

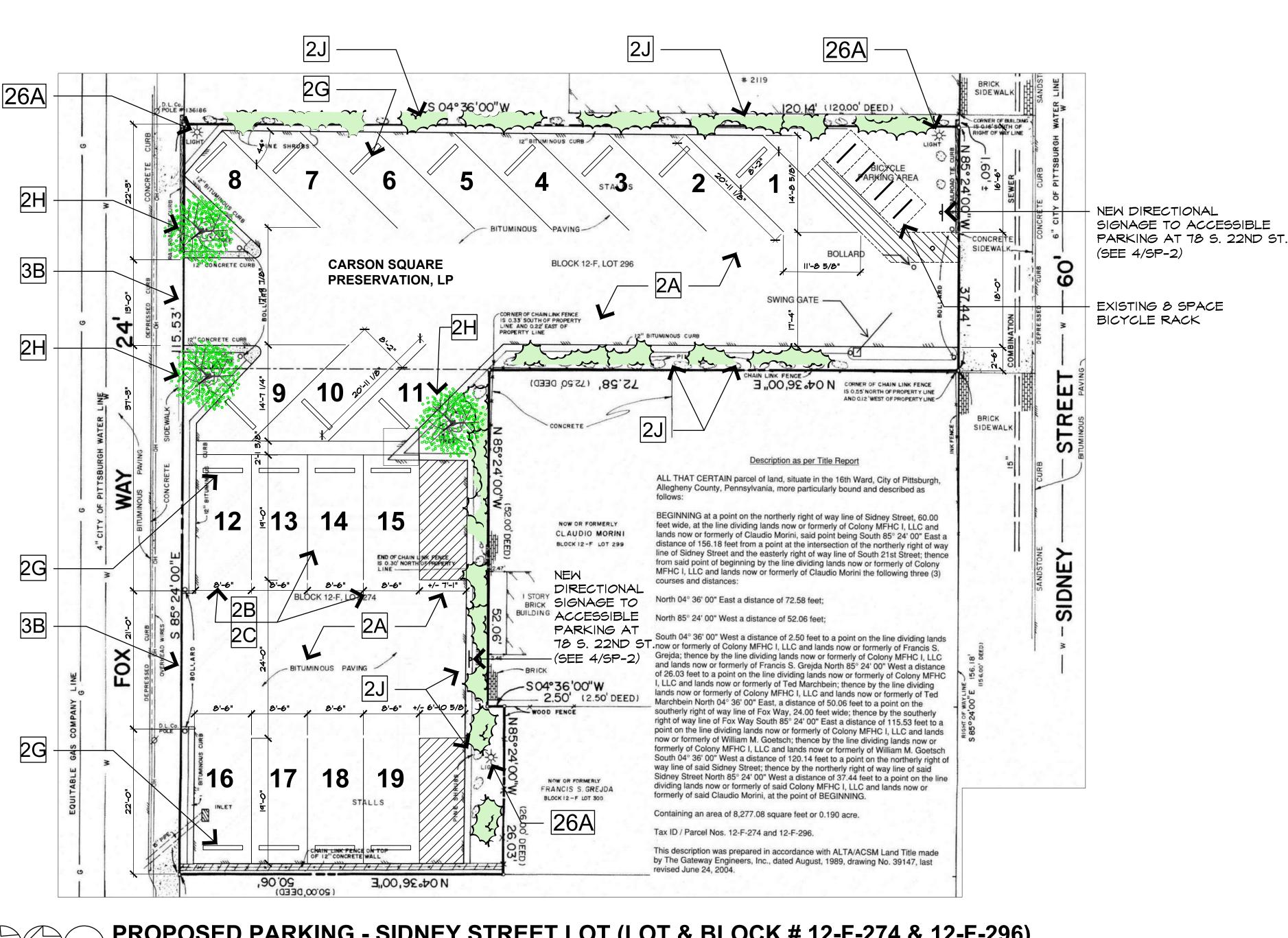
AS NOTED 23-069 CARSON SQUARE APARTMENTS

B. WEINSTEIGER, AI

SP-1 30" x 42"

ZONING SUBMITTAL 04/11/2025

<u>LOT</u> 12-F-358



PROPOSED PARKING - SIDNEY STREET LOT (LOT & BLOCK # 12-F-274 & 12-F-296)

SITE PLAN BASED ON ALTA/NSPS LAND TITLE SURVEY C-13199-000 - REVISED 4/11/2018

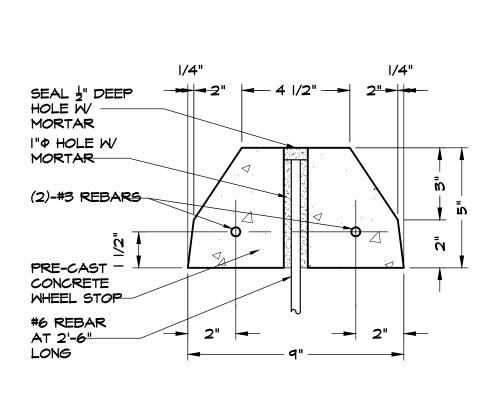
PARKING: PARKING SPACES (THIS LOT) =

BICYCLE SPACES (THIS LOT) =

II COMPACT SPACES 8 STANDARD SPACES 8 SPACE BICYCLE RACK

TOTAL PARKING REQUIRED FOR 54 UNIT RESIDENTIAL APARTMENT BUILDING = 54 SPACES.

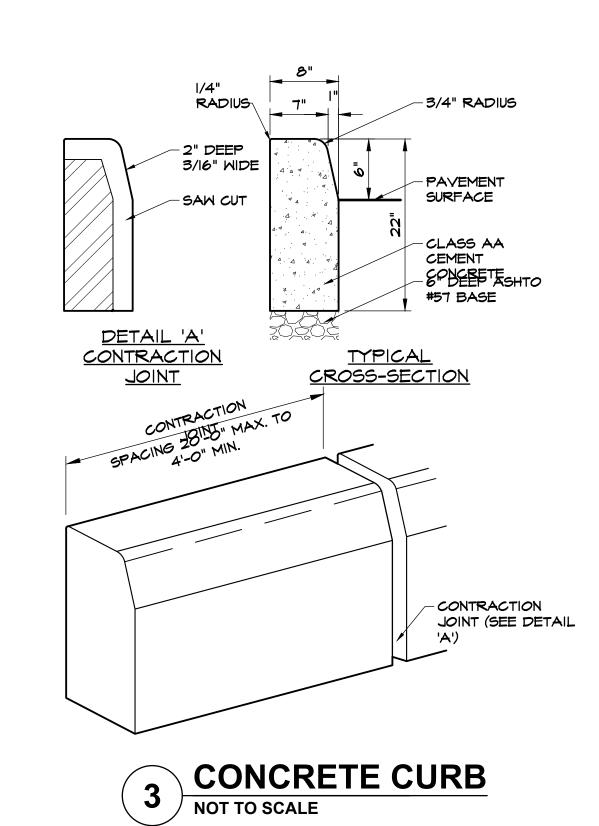
- 8277.08 SF OR 0.190 ACRE PARCEL - ALL SITE UTILITIES ARE EXISTING TO REMAIN

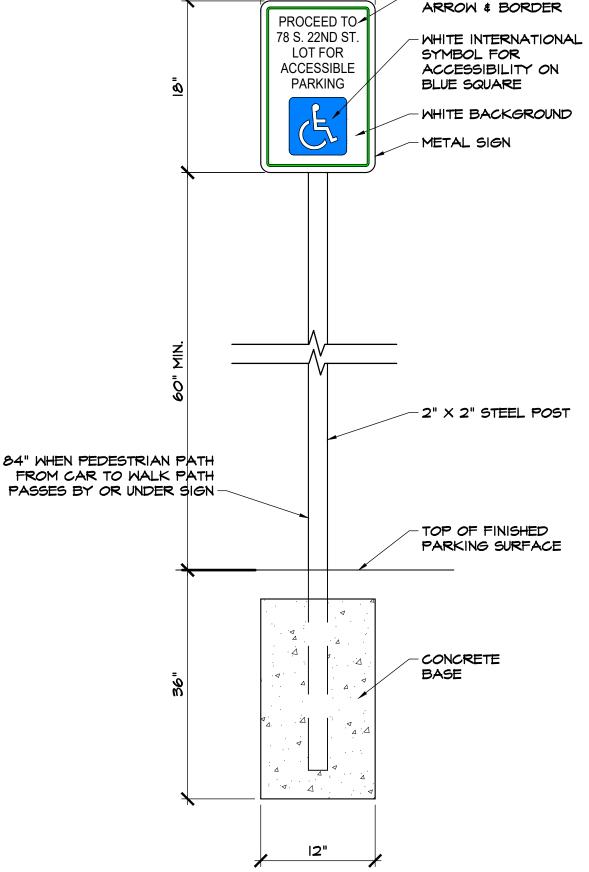


NORTH NORTH

NOTE: GC OPTION TO PROVIDE RECYCLED RUBBER WHEEL STOPS IN LIEU OF PRE-CAST CONCRETE WHEEL STOPS







POLE MOUNTED DIRECTIONAL SIGN

GREEN LETTERING ARROW & BORDER

IMPLEMENT ENTERPRISE GREEN COMMUNITIES-2020 REQUIREMENTS MATCH EXISTING WIDTH -1/4" RADIUS — BROOM FINISH 6"x6" WI.4xWI.4 MATIN. CLEARANCE 4"-3500 PSI CONCRETE SIDEWALK 1/4" / FOOT

6"-AASHTO #57 (2B) STONE BASE COMPACTED SUBGRADE NOTES: I. EXPANSION JOINTS LOCATED AT 20'

SIDEWALK WIDTH.

2. TOOLED JOINTS LOCATED AT 5' O.C 3. SIDEWALK IS TO BE LIGHT BROOM FINISHED IN THE DIRECTION OF

SIDEWALK DETAIL

SITE IMPROVEMENTS, ROADS, AND WALKS:

MILL AND OVERLAY NEW ASPHALT PAVING SEAL AND RE-STRIPE PARKING LOTS. RE-STRIPING SHALL COMPLY WITH ANSI AII7.I, SECTION 502; AS WELL AS ALL LOCAL ORDINANCES (SEE NOTES 2B THRU 2F).

INTENT TO RE-LOCATE ADA COMPLIANT PARKING SPACES FROM THE SIDNEY STREET PARKING LOT TO THE 22ND STREET PARKING LOT TO FACILITATE ADA COMPLIANT ROUTE UTILIZING PUBLIC SIDEWALKS TO THE BUILDING ENTRANCE (SEE NOTES 2B THRU 2F).

RE-STRIPE PARKING SPACES IN SIDNEY STREET LOT FOR NEW LAYOUT TO PROVIDE FIVE (5) STANDARD PARKING SPACES.

RE-STRIPE PARKING SPACES IN 22ND STREET LOT FOR NEW LAYOUT TO INCLUDE THREE (3) ADA COMPLIANT PARKING SPACES (INCLUDING ONE (I) VAN ACCESSIBLE PARKING SPACE). INCLUDE STRIPING FOR COMPLIANT ACCESS AISLES TO THE PUBLIC SIDEWALK. PROVIDE ADA COMPLIANT SIGNAGE.

2E INSTALL NEW HANDICAP PARKING IDENTIFICATION SIGN THAT INCLUDES THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" SIGNS SHALL BE 60" MINIMUM ABOVE THE FLOOR OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN (SEE 3/SP-3)

2F NEW ACCESS AISLE STRIPING TO MEET THE REQUIREMENTS OF ANSI AIIT.I, SECTION 502; AISLE WIDTH TO BE 5'-O" AND SHALL EXTEND FOR THE FULL LENGTH OF THE PARKING SPACES THEY SERVE. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM; USE PAINTED LINES.

RE-SET EXISTING WHEEL STOPS IN LOCATIONS AS SHOWN (TYP) AND PROVIDE NEW WHEEL STOPS AS REQUIRED TO ENSURE I PER SPACE. ANCHOR IN PLACE WITH #4 BAR (TYP).

2H EXISTING TREE TO REMAIN. PRUNE AS REQUIRED.

EXISTING COMPACT HEDGE TO REMAIN. PRUNE AND INFILL AS REQUIRED.

CLEAN OUT EXISTING BASEMENT WINDOW AREAWAY(S), REPAIR AND CLEAN WINDOWS AS NECESSARY. INSPECT EXISTING STEEL GRATES. REPAIR OR REPLACE AS NECESSARY.

PROVIDE NEW LANDSCAPING FOR COURTYARD TO INFILL AREAS AROUND NEW ADA COMPLIANT RAMPS. G.C. PROVIDE DELEGATED DESIGN OF LANDSCAPING, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

- MINOR FACADE REPAIRS

AND HARDWARE.

APARTMENT UNITS

UNITS. PROPOSED RENOVATIONS INCLUDE:

COMPLIANT ENTRANCE RAMP.

ADDITIONAL APARTMENT UNITS.

ADD KITCHEN TO COMMUNITY ROOM.

GENERAL NOTE:

CONCRETE:

REMOVE EXISTING NON-COMPLIANT RAMPS AT BUILDING COURTYARD. PROVIDE NEW ADA COMPLIANT RAMPS TO MEET THE REQUIREMENTS OF ANSI AIIT.I TO CREATE ACCESSIBLE ROUTE FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. G.C. TO PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN FOR NEW RAMPS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

PATCH AND REPAIR EXISTING CONCRETE CURB AND SIDEWALK ON NORTH SIDE OF EXISTING PARKING LOT ADJACENT TO FOX

MASONRY

SAW-CUT EXISTING MASONRY "GARDEN WALL" REMOVE AND DISPOSE SECTION AS INDICATED ON PLANS & ELEVATIONS. INFILL SOIL TO LEVEL GRADE AT NEW OPENING.

REFER TO ELEVATIONS FOR SCOPE OF FACADE REPAIRS, INCLUDING POWER WASHING BUILDING EXTERIOR, BRICK MASONRY RE-POINTING, CONTROL JOINT, AND SEALANT JOINT WORK, REPAIR / REPLACE STEEL LINTELS, FLASHING, AND SILLS.

SAW-CUT MASONRY VENEER AND CAVITY WALL TO ACCOMMODATE INSTALLATION OF NEW ALUMINUM FRAMED DOUBLE-HUNG WINDOW IN UNIT 104. PROVIDE NEW STEEL LINTEL, THRU-WALL FLASHING, AND MASONRY SILL T.M.E. WINDOW TO INCLUDE OPENING LIMITING DEVICE. USE BRICK FROM DEMO TO TOOTH-IN FINISH BRICK AT PERIMETER OF NEW OPENING (REFERENCE NOTE 8C).

CLEAN, PREP AND REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES TO REMAIN, AND ALL NEW STEEL DOORS AND HOLLOW METAL DOOR FRAMES.

METALS:

FA PROVIDE "SLEEVE" MOUNTED GUARD RAILS WITH NEW 42" HIGH GALVANIZED GUARD RAIL WITH 1/2-INCH SQUARE BAR STOCK BALUSTERS @ 4-INCHES O.C. W/ HIGH PERFORMANCE FINISH. G.C. PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN OF GUARDRAILS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND

ROOFING:

PROJECT SCOPE INCLUDES RENOVATION OF 54 MULTI-FAMILY APARTMENT

REPLACE EXISTING NON-COMPLIANT ENTRANCE RAMP WITH NEW ADA

REPLACE EXISTING ROOF WITH NEW TPO MEMBRANE ROOFING SYSTEM.

REPLACE BUILDING CENTRAL HOT WATER HEATERS & STORAGE TANK.

RENOVATE FOUR (4) EXISTING TYPE "A" ADA APARTMENT UNITS.

- REPLACE COMMON AREA INTERIOR AND EXTERIOR DOORS, FRAMES,

REPLACE APARTMENT UNIT ENTRY DOORS, FRAMES AND HARDWARE.

PROVIDE HEARING / VISION SIGNALING EQUIPMENT TO TWO (2)

MODERNIZE ELEVATORS INCLUDING NEW CAB FINISHES.

REPLACE APARTMENT UNIT SPLIT-SYSTEM A/C UNITS

REPAIR WALLS AND REPAINT BUILDING INTERIORS. PROVIDE NEW FINISH FLOORING IN COMMON AREAS

PROVIDE NEW KITCHEN APPLIANCES THROUGHOUT

PROVIDE NEW FINISH FLOORING IN APARTMENT UNITS

REPLACE KITCHEN CABINETS IN SELECT APARTMENT UNITS

PROVIDE NEW SOLID SURFACE COUNTERTOPS AND SINK IN ALL

7A REPLACE EXISTING ROOF SYSTEM IN AREAS INDICATED ON DRAWINGS WITH NEW TPO OR EPDM MEMBRANE ROOFING SYSTEM WITH ANODIZED ALUMINUM COPINGS (PER DRAWINGS AND SPECIFICATIONS).

SIDNEY STREET

PARKNG LOT

SIDNEY STREET PARKING LOT

<u> 12-F-296</u>

KEY PLAN
SCALE: NOT TO SCALE

12-F-274 —

26A REPLACE EXISTING SITE LIGHTING FIXTURE(S) WITH NEW LED FIXTURES (SEE ELECTRICAL

PROVIDE ELECTRICAL UPGRADES TO ELEVATOR PENTHOUSE AS REQUIRED TO ACCOMMODATE ELEVATOR MODERNIZATION.

PROVIDE ELECTRICAL UPGRADES TO NEW ACCOMMODATE INSTALLATION OF NEW

RELOCATE SWITCHES, OUTLETS AND CEILING MOUNTED LIGHT FIXTURES AS REQUIRED TO ACCOMMODATE RE-LOCATED WALLS AND DOORS.

26E UPGRADE BUILDING "WIFI" INFRASTRUCTURE (SEE ELECTRICAL DRAWINGS AND COMMUNICATIONS VENDOR).

26F UPGRADE COMMON AREA LIGHTING FIXTURES THAT ARE NOT ALREADY FLUORESCENT OR LED LAMPED.

266 INSTALL NEW ACCESS CONTROL SYSTEM AT COMMON AREAS (SEE ELECTRICAL DRAWINGS AND COORDINATE WITH OWNER'S SECURITY VENDOR).

ELECTRICAL:

DRAWINGS).

COMMUNITY ROOM KITCHEN.

COORDINATE WITH OWNER'S LOW-VOLTAGE

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CONSULTANT

Building Systems Engineering Group

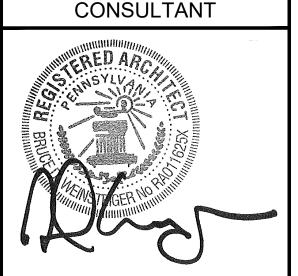
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BSEG Project No: 25.0008.000

CONTRACTOR



SEAL

ARCHITECT



Architecture and Interior Desig

Bruce D. Weinsteiger . Al/ James L. Cherry, III . AIA

610.518.1596T 610.873.1587F The Grimmet Mansion 626 West Lincoln Highway Exton . Pennsylvania 1934

PROJECT

<u> 12-6-225</u>

CARSON SQUARE APARTMENTS PHFA#: TC2024-118

RENOVATIONS 2112 SIDNEY STREET PITTSBURGH, PENNSYLVANIA 15203

REVISIONS

SIDNEY STREET LOT ADA PARKING OPTION

ZONING SUBMITTAL APRIL 11, 2025

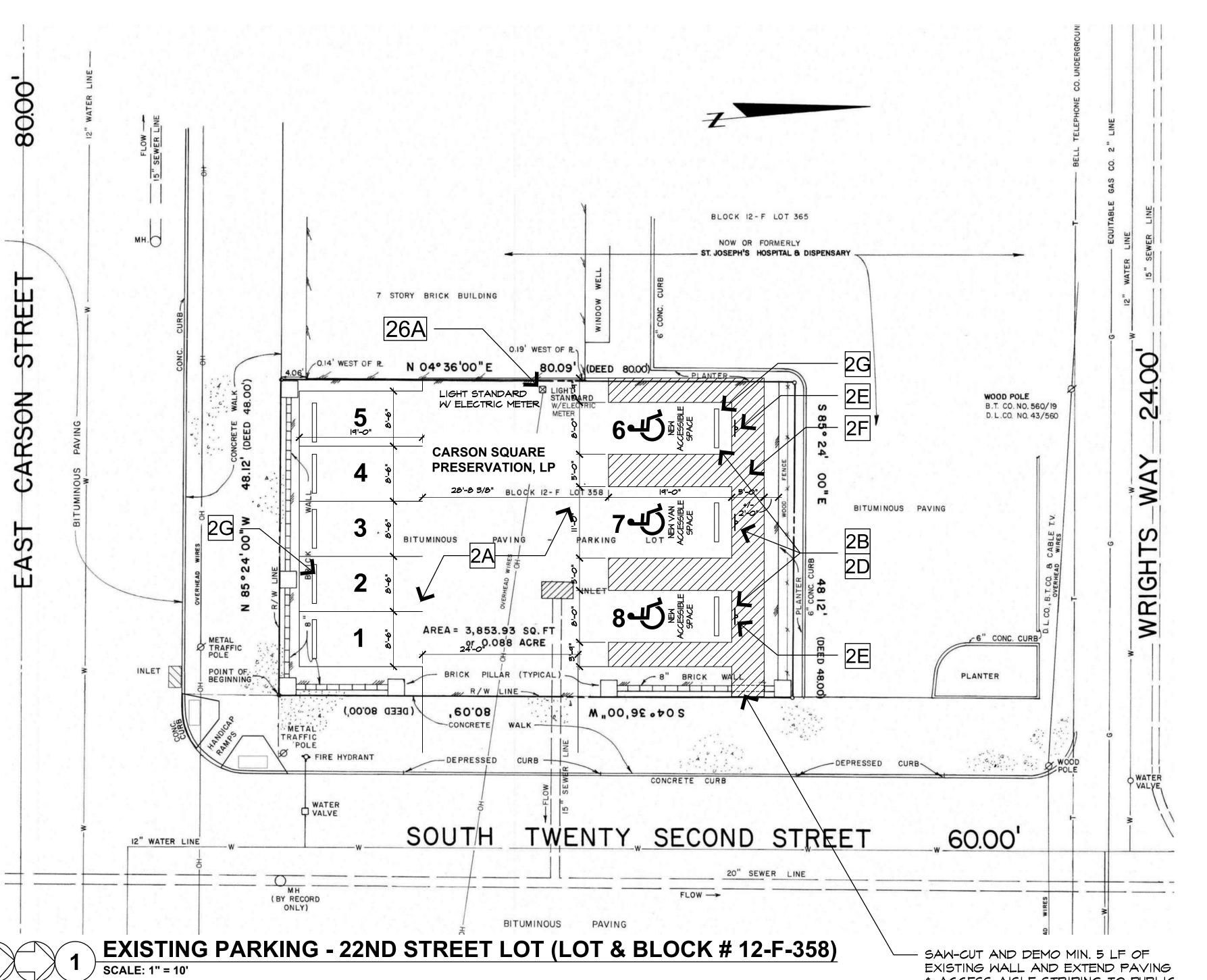
AS NOTED 23-069 CARSON SQUARE APARTMENTS

B. WEINSTEIGER, AI R. THOMPSON

SP-2

ZONING SUBMITTAL 04/11/2025

<u> 12-F-358</u>

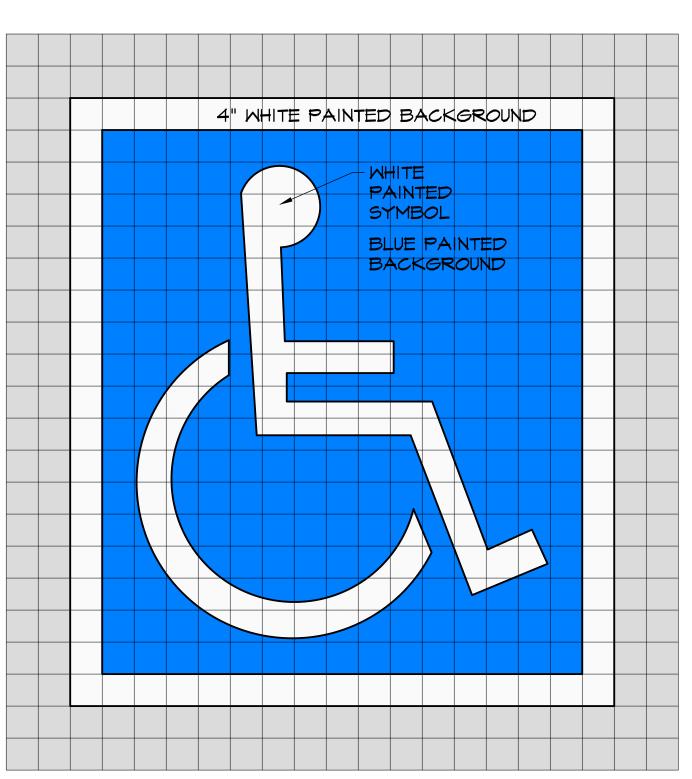


SITE PLAN BASED ON ALTA/NSPS LAND TITLE SURVEY C-13199-000 -REVISED 4/11/2018

PARKING:

PROPOSED PARKING SPACES (THIS LOT) = 5 STANDARD SPACES 3 ADA COMPLIANT SPACES TOTAL PARKING REQUIRED FOR 54 UNIT RESIDENTIAL APARTMENT BUILDING = 54 SPACES.

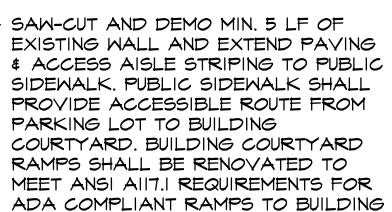
- 3.853.93 SF OR 0.088 ACRE PARCEL
- ALL SITE UTILITIES ARE EXISTING TO REMAIN



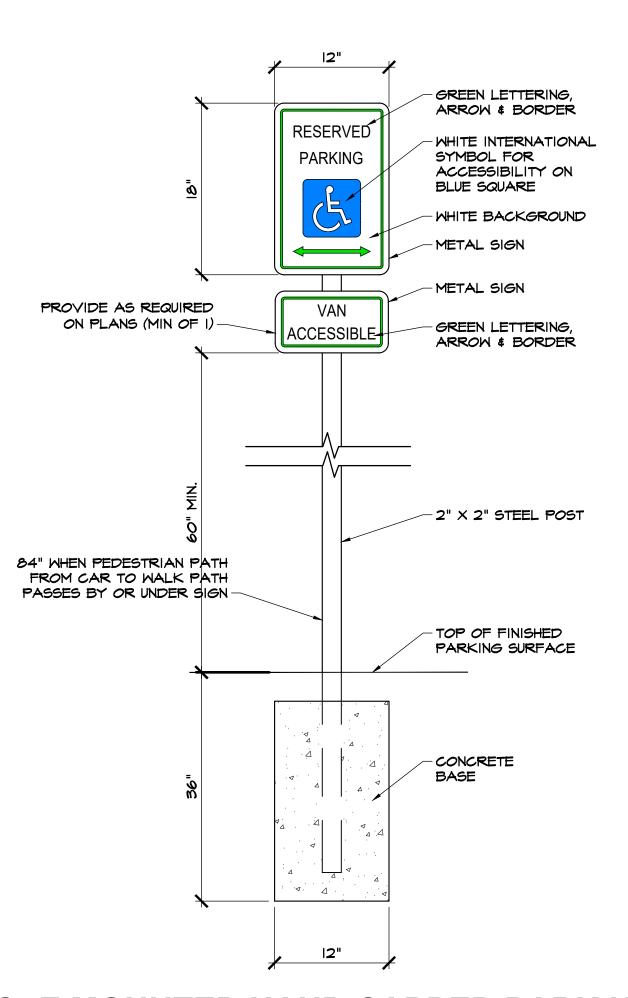
4"x4" GRID PROVIDED FOR LAYOUT OF SYMBOL PROVIDE PAINT COLORS IN ACCORDANCE WITH ADA AND LOCAL REQUIREMENTS (TYPICALLY WHITE SYMBOL ON BLUE BACKGROUND INSIDE

WHITE BORDER)

PAINTED ADA SYMBOL



ENTRANCE..



POLE MOUNTED HANDICAPPED PARKING SIGN

SITE IMPROVEMENTS, ROADS, AND WALKS:

- MILL AND OVERLAY NEW ASPHALT PAVING SEAL AND RE-STRIPE PARKING LOTS. RE-STRIPING SHALL COMPLY WITH ANSI AII7.1, SECTION 502; AS WELL AS ALL LOCAL ORDINANCES (SEE NOTES 2B THRU 2F).
- 2B INTENT TO RE-LOCATE ADA COMPLIANT PARKING SPACES FROM THE SIDNEY STREET PARKING LOT TO THE 22ND STREET PARKING LOT TO FACILITATE ADA COMPLIANT ROUTE UTILIZING PUBLIC SIDEWALKS TO THE BUILDING ENTRANCE (SEE NOTES 2B THRU 2F).
- 2C RE-STRIPE PARKING SPACES IN SIDNEY STREET LOT FOR NEW LAYOUT TO PROVIDE FIVE (5) STANDARD PARKING SPACES.
- RE-STRIPE PARKING SPACES IN 22ND STREET LOT FOR NEW LAYOUT TO INCLUDE THREE (3) ADA COMPLIANT PARKING SPACES (INCLUDING ONE (I) VAN ACCESSIBLE PARKING SPACE). INCLUDE STRIPING FOR COMPLIANT ACCESS AISLES TO THE PUBLIC SIDEWALK. PROVIDE ADA COMPLIANT SIGNAGE.
- INSTALL NEW HANDICAP PARKING IDENTIFICATION SIGN THAT INCLUDES THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY". SIGNS SHALL BE 60" MINIMUM ABOVE THE FLOOR OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN (SEE 3/SP-3)
- NEW ACCESS AISLE STRIPING TO MEET THE REQUIREMENTS OF ANSI AII7.I, SECTION 502; AISLE WIDTH TO BE 5'-O" AND SHALL EXTEND FOR THE FULL LENGTH OF THE PARKING SPACES THEY SERVE. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM; USE PAINTED LINES.
- RE-SET EXISTING WHEEL STOPS IN LOCATIONS AS SHOWN (TYP) AND PROVIDE NEW WHEEL STOPS AS REQUIRED TO ENSURE I PER SPACE. ANCHOR IN PLACE WITH #4 BAR (TYP).
- 2H EXISTING TREE TO REMAIN. PRUNE AS REQUIRED.
- EXISTING COMPACT HEDGE TO REMAIN. PRUNE AND INFILL AS REQUIRED.
- 2K CLEAN OUT EXISTING BASEMENT WINDOW AREAWAY(S), REPAIR AND CLEAN WINDOWS AS NECESSARY. INSPECT EXISTING STEEL GRATES. REPAIR OR REPLACE AS NECESSARY.
- PROVIDE NEW LANDSCAPING FOR COURTYARD TO INFILL AREAS AROUND NEW ADA COMPLIANT RAMPS. G.C. PROVIDE DELEGATED DESIGN OF LANDSCAPING, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

- MINOR FACADE REPAIRS

AND HARDWARE.

APARTMENT UNITS

UNITS. PROPOSED RENOVATIONS INCLUDE

COMPLIANT ENTRANCE RAMP.

ADDITIONAL APARTMENT UNITS.

ADD KITCHEN TO COMMUNITY ROOM.

GENERAL NOTE:

CONCRETE:

- REMOVE EXISTING NON-COMPLIANT RAMPS AT BUILDING COURTYARD. PROVIDE NEW ADA COMPLIANT RAMPS TO MEET THE REQUIREMENTS OF ANSI AIIT.I TO CREATE ACCESSIBLE ROUTE FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE, G.C. TO PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN FOR NEW RAMPS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.
- PATCH AND REPAIR EXISTING CONCRETE CURB AND SIDEWALK ON NORTH SIDE OF EXISTING PARKING LOT ADJACENT TO FOX

MASONRY:

- SAW-CUT EXISTING MASONRY "GARDEN WALL" REMOVE AND DISPOSE SECTION AS INDICATED ON PLANS & ELEVATIONS. INFILL SOIL TO LEVEL GRADE AT NEW OPENING.
- REFER TO ELEVATIONS FOR SCOPE OF FACADE REPAIRS, INCLUDING POWER WASHING BUILDING EXTERIOR, BRICK MASONRY RE-POINTING, CONTROL JOINT, AND SEALANT JOINT WORK. REPAIR / REPLACE STEEL LINTELS, FLASHING, AND SILLS.
- SAW-CUT MASONRY VENEER AND CAVITY WALL TO ACCOMMODATE INSTALLATION OF NEW ALUMINUM FRAMED DOUBLE-HUNG WINDOW IN UNIT 104. PROVIDE NEW STEEL LINTEL, THRU-WALL FLASHING, AND MASONRY SILL T.M.E. WINDOW TO INCLUDE OPENING LIMITING DEVICE. USE BRICK FROM DEMO TO TOOTH-IN FINISH BRICK AT PERIMETER OF NEW OPENING (REFERENCE NOTE &C).
- CLEAN, PREP AND REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES TO REMAIN AND ALL NEW STEEL DOORS AND HOLLOW METAL DOOR FRAMES.

METALS:

PROVIDE "SLEEVE" MOUNTED GUARD RAILS WITH NEW 42" HIGH GALVANIZED GUARD RAIL WITH 1/2-INCH SQUARE BAR STOCK BALUSTERS @ 4-INCHES O.C. W/ HIGH PERFORMANCE FINISH, G.C. PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN OF GUARDRAILS, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND

PROJECT SCOPE INCLUDES RENOVATION OF 54 MULTI-FAMILY APARTMENT

- REPLACE EXISTING NON-COMPLIANT ENTRANCE RAMP WITH NEW ADA

RENOVATE FOUR (4) EXISTING TYPE "A" ADA APARTMENT UNITS.

- REPLACE COMMON AREA INTERIOR AND EXTERIOR DOORS, FRAMES,

REPLACE APARTMENT UNIT ENTRY DOORS, FRAMES AND HARDWARE

PROVIDE HEARING / VISION SIGNALING EQUIPMENT TO TWO (2)

REPLACE EXISTING ROOF WITH NEW TPO MEMBRANE ROOFING SYSTEM.

REPLACE BUILDING CENTRAL HOT WATER HEATERS & STORAGE TANK.

- MODERNIZE ELEVATORS INCLUDING NEW CAB FINISHES.

REPLACE APARTMENT UNIT SPLIT-SYSTEM A/C UNITS

REPAIR WALLS AND REPAINT BUILDING INTERIORS

PROVIDE NEW KITCHEN APPLIANCES THROUGHOUT

PROVIDE NEW FINISH FLOORING IN COMMON AREAS.

PROVIDE NEW FINISH FLOORING IN APARTMENT UNITS

REPLACE KITCHEN CABINETS IN SELECT APARTMENT UNITS

PROVIDE NEW SOLID SURFACE COUNTERTOPS AND SINK IN ALL

- IMPLEMENT ENTERPRISE GREEN COMMUNITIES-2020 REQUIREMENTS

REPLACE EXISTING ROOF SYSTEM IN AREAS INDICATED ON DRAWINGS WITH NEW TPO OR EPDM MEMBRANE ROOFING SYSTEM WITH ANODIZED ALUMINUM COPINGS (PER DRAWINGS AND SPECIFICATIONS)

> LOT 12-F-274

> > <u>LOT</u>

<u> 12-F-309</u>

KEY PLAN
SCALE: NOT TO SCALE

- **26A** REPLACE EXISTING SITE LIGHTING FIXTURE(S) WITH NEW LED FIXTURES (SEE ELECTRICAL DRAWINGS).
- PROVIDE ELECTRICAL UPGRADES TO ELEVATOR PENTHOUSE AS REQUIRED TO ACCOMMODATE ELEVATOR MODERNIZATION.
- 26C PROVIDE ELECTRICAL UPGRADES TO NEW ACCOMMODATE INSTALLATION OF NEW

COMMUNITY ROOM KITCHEN.

- RELOCATE SWITCHES, OUTLETS AND CEILING MOUNTED LIGHT FIXTURES AS REQUIRED TO ACCOMMODATE RE-LOCATED WALLS AND DOORS.
- 26E UPGRADE BUILDING "WIFI" INFRASTRUCTURE (SEE ELECTRICAL DRAWINGS AND COORDINATE WITH OWNER'S LOW-VOLTAGE COMMUNICATIONS VENDOR).
- 26F UPGRADE COMMON AREA LIGHTING FIXTURES THAT ARE NOT ALREADY FLUORESCENT OR LED LAMPED.
- 266 INSTALL NEW ACCESS CONTROL SYSTEM AT COMMON AREAS (SEE ELECTRICAL DRAWINGS AND COORDINATE WITH OWNER'S SECURITY YENDOR).

ELECTRICAL:

STANDARD

OWNER

1901 AVENUE OF THE STARS SUITE 395 LOS ANGELES, CA 90067 P: 212-249-2134 (NY OFFICE) P: 310-553-5711 (LA OFFICE) www.standardproperty.com

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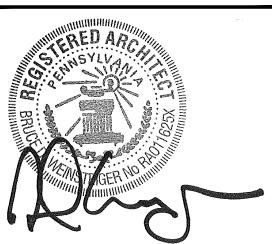
BSEG Project No: 25.0008.000

CONTRACTOR



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CONSULTANT



SEAL

ARCHITECT



ARCHITECTURAL CONCEPTS, PC

rchitecture and Interior Desig

Bruce D. Weinsteiger . AIA James L. Cherry, III . AIA 610.518.1596T 610.873.1587 The Grimmet Mansion 626 West Lincoln Highway

Exton . Pennsylvania 1934

PROJECT

CARSON SQUARE APARTMENTS PHFA#: TC2024-118

RENOVATIONS 2112 SIDNEY STREET PITTSBURGH, PENNSYLVANIA 15203

REVISIONS

22nd STREET LOT LOT & BLOCK # 12-F-358

ZONING SUBMITTAL **APRIL 11, 2025**

AS NOTED 23-069 CARSON SQUARE APARTMENT

B. WEINSTEIGER, AI R. THOMPSON

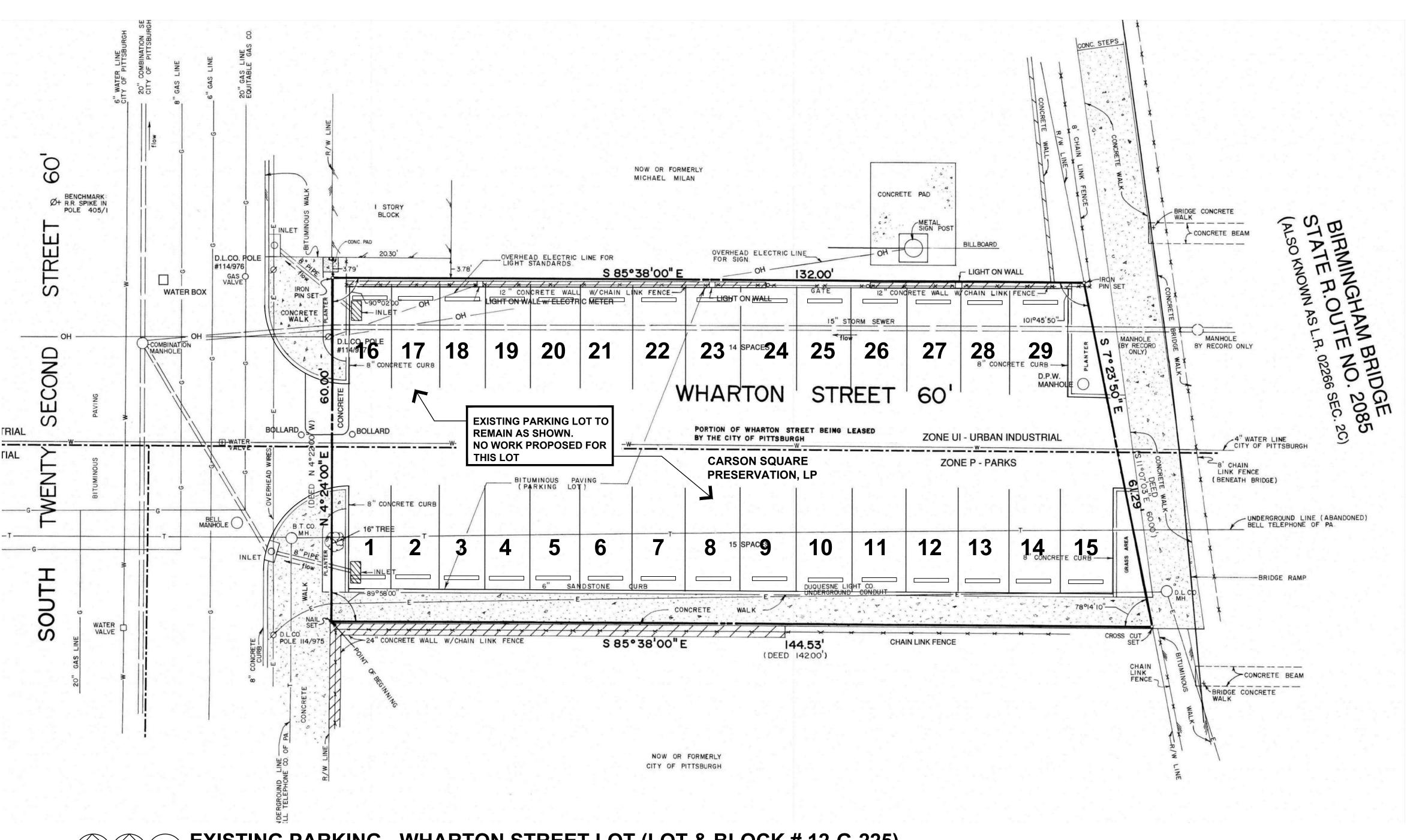
SP-3

(22ND ST. LOT) ZONING SUBMITTAL 04/11/2025

<u>|2-F-358</u>

E CARSON ST

12-6-225



EXISTING PARKING - WHARTON STREET LOT (LOT & BLOCK # 12-G-225)

SITE PLAN BASED ON ALTA/NSPS LAND TITLE SURVEY C-13685-0001

- REVISED 4/11/2018

PARKING:

EXISTING PARKING SPACES (THIS LOT) = 29 SPACES TOTAL PARKING REQUIRED FOR 54 UNIT RESIDENTIAL APARTMENT

BUILDING = 54 SPACES.

- 8,295.90 SF OR 0.190 ACRE PARCEL

- ALL SITE UTILITIES ARE EXISTING TO REMAIN

SITE IMPROVEMENTS, ROADS, AND WALKS:

- MILL AND OVERLAY NEW ASPHALT PAVING SEAL AND RE-STRIPE PARKING LOTS. RE-STRIPING SHALL COMPLY WITH ANSI AII7.1, SECTION 502; AS WELL AS ALL LOCAL ORDINANCES (SEE NOTES 2B THRU 2F).
- INTENT TO RE-LOCATE ADA COMPLIANT PARKING SPACES FROM THE SIDNEY STREET PARKING LOT TO THE 22ND STREET PARKING LOT TO FACILITATE ADA COMPLIANT ROUTE UTILIZING PUBLIC SIDEWALKS TO THE BUILDING ENTRANCE (SEE NOTES 2B THRU 2F).
- RE-STRIPE PARKING SPACES IN SIDNEY STREET LOT FOR NEW LAYOUT TO PROVIDE FIVE (5) STANDARD PARKING SPACES.
- RE-STRIPE PARKING SPACES IN 22ND STREET LOT FOR NEW LAYOUT TO INCLUDE THREE (3) ADA COMPLIANT PARKING SPACES (INCLUDING ONE (I) VAN ACCESSIBLE PARKING SPACE). INCLUDE STRIPING FOR COMPLIANT ACCESS AISLES TO THE PUBLIC SIDEWALK. PROVIDE ADA COMPLIANT SIGNAGE.
- INSTALL NEW HANDICAP PARKING IDENTIFICATION SIGN THAT INCLUDES THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY". SIGNS SHALL BE 60" MINIMUM ABOVE THE FLOOR OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN (SEE 2/SP-3)
- NEW ACCESS AISLE STRIPING TO MEET THE REQUIREMENTS OF ANSI AIIT.I, SECTION 502; AISLE WIDTH TO BE 5'-O" AND SHALL EXTEND FOR THE FULL LENGTH OF THE PARKING SPACES THEY SERVE. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM; USE PAINTED LINES.
- RE-SET EXISTING WHEEL STOPS IN LOCATIONS AS SHOWN (TYP) AND PROVIDE NEW WHEEL STOPS AS REQUIRED TO ENSURE I PER SPACE. ANCHOR IN PLACE WITH #4 BAR (TYP).
- 2H EXISTING TREE TO REMAIN. PRUNE AS REQUIRED.
- EXISTING COMPACT HEDGE TO REMAIN. PRUNE AND INFILL AS REQUIRED.
- CLEAN OUT EXISTING BASEMENT WINDOW AREAWAY(S), REPAIR AND CLEAN WINDOWS AS NECESSARY. INSPECT EXISTING STEEL GRATES. REPAIR OR REPLACE AS NECESSARY.
- PROVIDE NEW LANDSCAPING FOR COURTYARD TO INFILL AREAS AROUND NEW ADA COMPLIANT RAMPS. G.C. PROVIDE DELEGATED DESIGN OF LANDSCAPING, AND PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND APPROVAL.

- REMOVE EXISTING NON-COMPLIANT RAMPS COMPLIANT RAMPS TO MEET THE REQUIREMENTS OF ANSI AIIT. I TO CREATE STRUCTURAL ENGINEERING DELEGATED DESIGN FOR NEW RAMPS, AND PROVIDE APPROVAL.
- PATCH AND REPAIR EXISTING CONCRETE CURB AND SIDEWALK ON NORTH SIDE OF EXISTING PARKING LOT ADJACENT TO FOX

- , REMOVE AND DISPOSE SECTION AS SOIL TO LEVEL GRADE AT NEW OPENING.
- REFER TO ELEVATIONS FOR SCOPE OF FACADE REPAIRS, INCLUDING POWER WASHING BUILDING EXTERIOR, BRICK MASONRY RE-POINTING, CONTROL JOINT, AND SEALANT JOINT WORK. REPAIR / REPLACE STEEL LINTELS, FLASHING, AND SILLS.
- SAW-CUT MASONRY VENEER AND CAVITY WALL TO ACCOMMODATE INSTALLATION OF NEW ALUMINUM FRAMED DOUBLE-HUNG WINDOW IN UNIT 104. PROVIDE NEW STEEL SILL T.M.E. WINDOW TO INCLUDE OPENING TOOTH-IN FINISH BRICK AT PERIMETER OF NEW OPENING (REFERENCE NOTE 8C).
- CLEAN, PREP AND REPAINT ALL EXISTING EXTERIOR PAINTED SURFACES TO REMAIN, AND ALL NEW STEEL DOORS AND HOLLOW

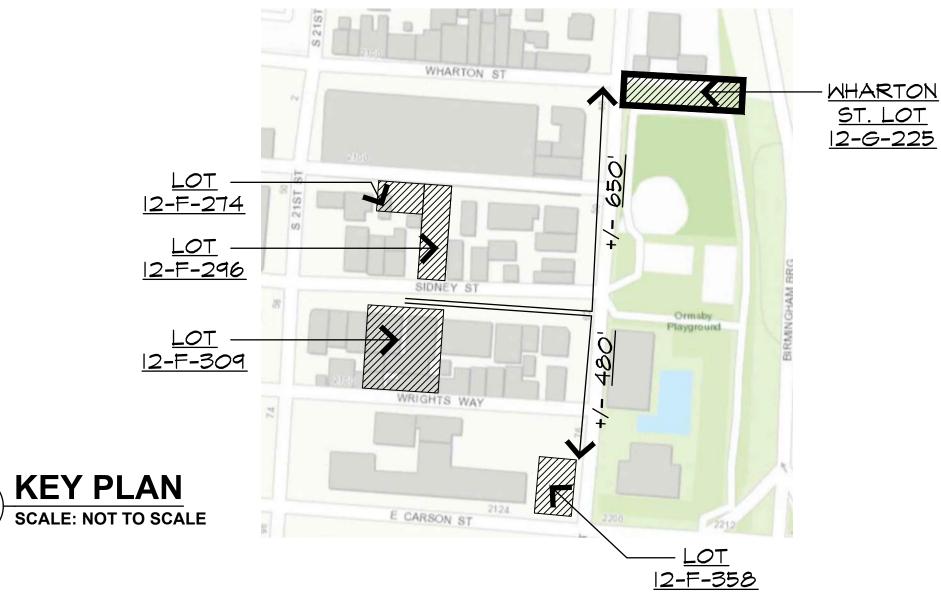
WITH 1/2-INCH SQUARE BAR STOCK BALUSTERS @ 4-INCHES O.C. W/ HIGH PERFORMANCE FINISH. G.C. PROVIDE STRUCTURAL ENGINEERING DELEGATED DESIGN OF GUARDRAILS, AND PROVIDE

REPLACE EXISTING ROOF SYSTEM IN AREAS EPDM MEMBRANE ROOFING SYSTEM WITH ANODIZED ALUMINUM COPINGS (PER

GENERAL NOTE:

PROJECT SCOPE INCLUDES RENOVATION OF 54 MULTI-FAMILY APARTMENT UNITS. PROPOSED RENOVATIONS INCLUDE:

- MINOR FACADE REPAIRS
- REPLACE EXISTING NON-COMPLIANT ENTRANCE RAMP WITH NEW ADA
- COMPLIANT ENTRANCE RAMP.
- MODERNIZE ELEVATORS INCLUDING NEW CAB FINISHES.
- REPLACE EXISTING ROOF WITH NEW TPO MEMBRANE ROOFING SYSTEM. - REPLACE APARTMENT UNIT SPLIT-SYSTEM A/C UNITS
- REPLACE BUILDING CENTRAL HOT WATER HEATERS & STORAGE TANK.
- RENOVATE FOUR (4) EXISTING TYPE "A" ADA APARTMENT UNITS.
- PROVIDE HEARING / VISION SIGNALING EQUIPMENT TO TWO (2) ADDITIONAL APARTMENT UNITS.
- REPLACE COMMON AREA INTERIOR AND EXTERIOR DOORS, FRAMES,
- AND HARDWARE.
- REPLACE APARTMENT UNIT ENTRY DOORS, FRAMES AND HARDWARE. - REPAIR WALLS AND REPAINT BUILDING INTERIORS.
- PROVIDE NEW FINISH FLOORING IN COMMON AREAS.
- PROVIDE NEW FINISH FLOORING IN APARTMENT UNITS
- ADD KITCHEN TO COMMUNITY ROOM.
- REPLACE KITCHEN CABINETS IN SELECT APARTMENT UNITS - PROVIDE NEW SOLID SURFACE COUNTERTOPS AND SINK IN ALL
- APARTMENT UNITS
- PROVIDE NEW KITCHEN APPLIANCES THROUGHOUT - IMPLEMENT ENTERPRISE GREEN COMMUNITIES-2020 REQUIREMENTS



ZONING SUBMITTAL 04/11/2025

CONCRETE:

AT BUILDING COURTYARD. PROVIDE NEW ADA ACCESSIBLE ROUTE FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. G.C. TO PROVIDE SUBMITTALS FOR ARCHITECT REVIEW AND

MASONRY

- SAW-CUT EXISTING MASONRY "GARDEN WALL" INDICATED ON PLANS & ELEVATIONS. INFILL
- LINTEL, THRU-WALL FLASHING, AND MASONRY LIMITING DEVICE. USE BRICK FROM DEMO TO
- METAL DOOR FRAMES.

PROVIDE "SLEEVE" MOUNTED GUARD RAILS WITH NEW 42" HIGH GALVANIZED GUARD RAIL SUBMITTALS FOR ARCHITECT REVIEW AND

ROOFING:

INDICATED ON DRAWINGS WITH NEW TPO OR DRAWINGS AND SPECIFICATIONS).

ARCHITECT

OWNER

STANDARD

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BSEG Project No: 25.0008.000

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CONSULTANT

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Architecture and Interior Desig

Bruce D. Weinsteiger . AIA James L. Cherry, III . AIA

610,518,1596T 610,873,1587F The Grimmet Mansion

626 West Lincoln Highway Exton . Pennsylvania 1934

PROJECT

CARSON SQUARE APARTMENTS PHFA#: TC2024-118

RENOVATIONS 2112 SIDNEY STREET PITTSBURGH. PENNSYLVANIA 15203

	REVISIONS				
	Date	Revision			
Т					

WHARTON STREET LOT LOT & BLOCK # 12-G-225

ZONING SUBMITTAL

APRIL 11, 2025

B. WEINSTEIGER, AI 23-069 SP-4

23-069 CARSON SQUARE APARTMENT

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