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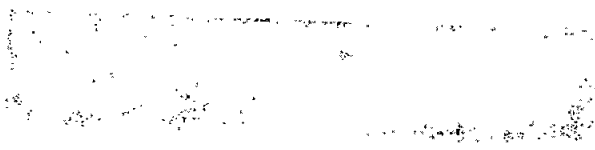
**PRESENTED TO THE CITY OF PITTSBURGH  
CITY PLANNING COMMISSION**

**MARCH 2000**

**SOUTH SIDE WORKS  
DESIGN GUIDELINES**

**LOYSEN + ASSOCIATES  
ARCHITECTS**

MARCH 2000



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**SOUTH SIDE WORKS**  
**DESIGN GUIDELINES**

## Table of Contents

<b>Introduction</b>	<b>1</b>
<b>Zoning</b>	<b>2</b>
<b>Existing Site Plan</b>	<b>4</b>
<b>Urban Open Spaces</b>	<b>6</b>
<b>Street Guidelines</b>	<b>8</b>
<b>Landscaping</b>	<b>12</b>
<b>Lighting</b>	<b>14</b>
<b>Building Frontage &amp; Setbacks</b>	<b>16</b>
<b>Parking &amp; Service</b>	<b>18</b>
<b>Building Form &amp; Scale</b>	<b>20</b>
<b>Building Materials</b>	<b>22</b>
<b>Appendix I: Signage Guidelines</b>	<b>25</b>

# INTRODUCTION

## PROJECT BACKGROUND

Since adopting PDL documents for the South Side Works, located on the former LTV site, Pittsburgh's Planning Commission requested guidelines which more accurately reflected the existing conditions of the site and provided a clear direction for development. These guidelines incorporate the principles of the PLDP documents and are intended to replace the PLDP documents.

## USE OF THESE GUIDELINES

These Design Guidelines are intended to apply to all developments, both private and public, as an overlay to the other existing adopted legislation pertaining to the SP-5 / South Side Works site, including:

- Pittsburgh Urban Zoning Code, which establishes the site as an SP-5 zone and legislates permitted use, density of development and building height.
- The Pittsburgh Riverfront Plan districting, which characterizes the South Side Works' river frontage into "Community" and "Industrial" districts.
- The East Carson Street Historic District Design Guidelines apply to all development which falls within the historic district area.

## PUBLIC POLICY OBJECTIVES

During the PLDP process, the following Public Policy Objectives were developed as guidelines for South Side Works development.

The development of the South Side Works is intended to promote:

- The creation of a district within the existing fabric of the South Side that has characteristics which engender a sense of neighborhood and community.
- The creation of new development patterns that permits a greater mix and layering of land uses than allowed by conventional zoning standards. Such mixed land uses link housing with employment, transportation and retail opportunities.
- The creation of an urban environment that is built at a human scale, is pedestrian friendly and is not dominated by the requirements of the automobile.
- The creation of a unique development framework which promotes pedestrian activity while accommodating flexible economic opportunities.

## PLANNING & DEVELOPMENT PRINCIPLES

The following principles are interpreted from the PLDP text:

- **Urban Mixed-Use Development**  
South Side Works should be developed as a mixed use urban district that is a compatible extension of the South Side neighborhood. Development should be compatible with the urban form of the surrounding neighborhood.
- **Streets, Blocks & Open Space**  
To the extent possible, streets will become an extension of the existing grid and will have a high quality of street infrastructure, using the current city standards for sidewalks, lighting and other features. The existing street grid will be used to maintain visual corridors from Carson Street to the river. Open spaces are to be positioned to be assets to development parcels and maximize benefits to the South Side neighborhood.
- **Access to the Riverfront**  
Public access to the Monongahela River for recreation, leisure and transportation activities should be incorporated into all public and private development opportunities. Public access should integrate the Heritage Trail that traverses the South Side Works, as well as the perpendicular access corridors penetrating the site. The Heritage Trail will run continuously through the site and connect to the Three Rivers Heritage system.
- **Enhance Land Values**  
The South Side Works property will be developed with floor area ratios, building height and setback requirements, site coverage percentages, densities and other physical design criteria that reflect the land values and urban development potential of the site.
- **Clearly Defined Public Spaces**  
New buildings should clearly define and front onto streets and public spaces. The public spaces will be animated by mixing uses within the development.

- **Buildings are Primary, Parking is Secondary**  
Buildings are of primary importance and should relate directly to streets and public spaces. Parking and service areas should be confined to secondary, internal or mid-block locations.
- **Planned Phased Development (i.e. from surface to structured parking)**  
Although early phases of the development may depend on surface parking, the ultimate goal of the development is for a significant percentage of the parking requirement to be accommodated by structured parking. Parking structures/garages not only provide important urban design benefits, but will maximize development potential and land values.
- **Sustainability**  
Development of the South Side Works site should be of high quality urban character and scale that works to restore the natural environment, and reduces the use of energy and water resources. To attain this "sustainable development" approach green building practices for site and building design and construction should be adopted by all private and public developers. This would include, but not be limited to the following green building principles: minimize impervious areas; maximize the use of renewable sources of energy; utilize indigenous plant materials; encourage non-vehicular forms of transportation; promote the use of non-toxic, recycled, and local materials; reduce storm water runoff and pollutants; improve the overall environmental quality of the site and buildings; and, encourage human interaction and quality of life.
- **Transit**  
The South Side Works site should be designed to minimize automobile dependency by integrating inter-modal transit opportunities. Facilities for bicycles, busses, water taxis and other river-oriented transit should be located within a ten-minute walking distance of employment centers and residential blocks.

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# INTRODUCTION

# ZONING

## GENERAL PRINCIPLES

All projects must conform with the requirements of the Pittsburgh Urban Zoning Code, Section 909. Selected sections of the zoning code are included herein, for reference.

## PERMITTED USES

Uses permitted per the Pittsburgh Urban Zoning Code for the SP-5 South Side Works - Section 909.01.J.1 (a), (b), and (c).

### SUBDISTRICT I(A)

In Subdistrict A, bounded by East Carson Street, South Twenty-fifth Street, the Monongahela River, and the center line of South Twenty-eighth Street projected towards the Monongahela River structures may be erected, altered, demolished or enlarged for only the uses listed in this section.

- (i) Single-Unit Attached Residential;
- (ii) Multi-Unit Residential;
- (iii) Restaurants, including those with entertainment;
- (iv) Office;
- (v) Library and Cultural Services uses including museum, gallery, and similar exhibition uses;
- (vi) Religious Assembly;
- (vii) Community Center;
- (viii) Hotel/Motel;
- (ix) Recreation/Entertainment uses, involving indoor and outdoor auditoriums, including cinemas, theaters, and the like;
- (x) Parking, General and Parking Structure, General;
- (xi) Childcare;
- (xii) Retail Sales and Services, subject to the same requirements for such uses found in Chapter 91 I, Use Regulations, for the UNC District;
- (xiii) Transportation right-of-way, roadway and track age, including shelter and comfort stations incident to the use thereof;
- (xiv) Parks and Open Space and outdoor recreational uses;
- (xv) Accessory uses clearly incident to the uses listed in items above; and
- (xvi) Signs as prescribed in Sec. 919.03.M.5.

### SUBDISTRICT I I (B)

In Subdistrict B, bounded by East Carson Street, the center line of South Twenty-eighth Street projected towards the Monongahela River, and the Monongahela River, as identified on the South Side Works Preliminary Land Development Plan

approved by the Planning Commission on January 28, 1997, land may be used and structures may be erected, altered, demolished or enlarged for only the uses listed in this section.

- (i) Single-Unit Attached Residential;
- (ii) Multi-Unit Residential;
- (iii) Restaurants, including those with entertainment;
- (iv) Office;
- (v) Library and Cultural Services uses including museum, gallery, and similar exhibition uses;
- (vi) Hotels;
- (vii) Religious Assembly;
- (viii) Community Center;
- (ix) Recreation/Entertainment uses, involving indoor and outdoor auditoriums, including cinemas, theaters, and the like;
- (x) Manufacturing and Assembly and Warehouses (Limited) uses, subject to the same requirements for such uses found in Chapter 91 I, Use Regulations, for the NDI District;
- (xi) Parking, General and Parking Structure, General;
- (xii) Childcare;
- (xiii) Retail Sales and Services uses which are intended to provide personal services to occupants within buildings where such services are not the primary use, and only when located within a structure in which the primary use is any of the uses listed above;
- (xiv) Transportation right-of-way, roadway and trackage, including shelter and comfort stations incident to the use thereof;
- (xv) Parks and Open Space and outdoor recreational uses;
- (xvi) Accessory uses clearly incident to the uses listed in items above; and
- (xvii) Signs as prescribed in Sec. 919.03.M.5.

### SUBDISTRICT I I I (C)

In Subdistrict C, bounded by East Carson Street, the Monongahela River, and the eastern terminus of the SP-5 District, as identified on the South Side Works Preliminary Land Development Plan approved by the Planning

Commission on January 28, 1997, land may be used and structures may be erected, altered, demolished or enlarged for only the uses listed in this section.

- (i) Single-Unit Attached Residential;
- (ii) Multi-Unit Residential;
- (iii) Restaurants, including those with entertainment;
- (iv) Office;
- (v) Library and Cultural Services uses including museum, gallery, and similar exhibition uses;
- (vi) Religious Assembly;
- (vii) Community Center;
- (viii) Hotel/Motel;
- (ix) Recreation/Entertainment uses, involving indoor and outdoor auditoriums, including cinemas, theaters, and the like;
- (x) Manufacturing and Assembly and Warehouses (Limited) uses, subject to the same requirements for such uses found in Chapter 91 I, Use Regulations, for the NDI District;
- (xi) Parking, General and Parking Structure, General;
- (xii) Childcare;
- (xiii) Retail Sales and Services uses which are intended to provide personal services to occupants within buildings where such services are not the primary use, and only when located within a structure in which the primary use is any of the uses listed above;
- (xiv) Transportation right-of-way, roadway and track age, including shelter and comfort stations incident to the use thereof;
- (xv) Parks and Open Space and outdoor recreational uses;
- (xvi) Accessory uses clearly incident to the uses listed in items above; and
- (xvii) Signs as prescribed in Sec. 919.03.M.5.

## BUILDING HEIGHT

Regulations per The Pittsburgh Urban Zoning Code applicable to the entire SP-5 District - Section 909.01.J.2 (a) and (c).

### (a) Height

For the uses listed in Sections 909.01.J.1 (a), (b) and (c)

above, the height of the structures hereafter erected or enlarged shall not exceed the following:  
All primary structures: 6 stories and 75 feet.

### (b) Area

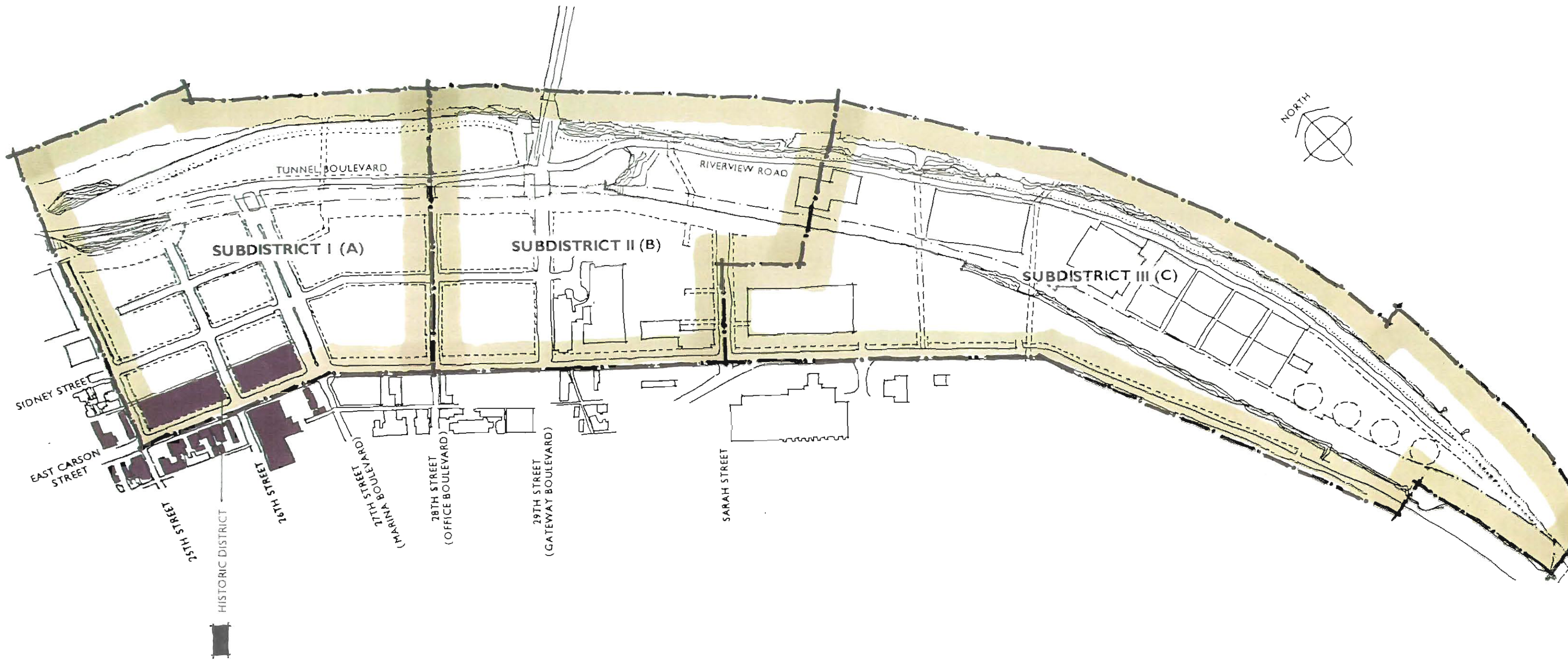
- (1) Maximum Floor Area Ratio for entire SP-5 District, but not including major garages: 0.60
- (2) Urban Open Space. Not less than ten percent (10%) of the entire SP-5 District shall be provided and maintained as Urban Open Space.

### (c) Height Exceptions

Subject to the requirements prescribed hereunder, the following exceptions to the height regulations in Section 909.01.J.1(a),(b) and (c) are permitted. Exceptions in height which are authorized by the Administrator, according to the following.

#### (1) Erection above the height limit of certain structures according to the following standards:

- (i) Any structure above six stories and 75 feet shall be placed in a location specifically identified for such structures in the Final Land Development Plan, which shall locate such structures in important public locations in the district, adjacent to major public open spaces or public streets, and shall be designed to be a landmark structure which specifically responds to its location on the site;
- (ii) The maximum height shall not exceed nine stories and 100 feet;
- (iii) Structures with height above six stories and 75 feet shall be sited and designed to be an integral part of the Land Development Plan and shall not result in abrupt changes in scale or size from adjacent buildings; and
- (iv) No more than three structures above six stories and 75 feet shall be located within the SP-5 District.



# ZONING

## EXISTING SITE PLAN

### **GENERAL PRINCIPLES**

Since the time the master plan, and subsequently, the PLDP plans were made, more information regarding easements and other site characteristics are known. The plan at the right depicts, as best as possible, current understanding of existing conditions.

Refer to URA documents for actual dimensions of meets and bounds, topographic conditions and more detailed existing conditions.

### **CSX PROPERTY**

CSX tracks run through the entire length of the site. Although CSX will permit roadways to cross over this property, any crossings must be structured to completely bridge CSX property. No air rights have been granted for buildings above CSX property.

At the west end of the site, to the south of its open channel, the CSX right-of-way widens.

At the east end of the site, CSX property includes some abandoned tracks. Some of this land may be available for purchase by private developers.

### **UTILITY EASEMENTS**

Existing Alcosan easements run through the site from Carson Street to the river.

New easements have been established for distribution of utilities to new building parcels. The primary east-west easement is 50' wide and located to the south of the CSX tunnel. Between 27th Street and 26th Street this easement may be located as shown on the adjacent plan, or to run continuously along the south of the tunnel. Specific configurations of building parcels will be affected by this easement. Other, smaller utility easements are located throughout the site.

### **STREET RIGHTS-OF-WAY**

Public-access streets are to be constructed throughout the site, becoming an extension of the South Side street grid. This public-access network is shown on the adjacent plan. Other, internal, site access drives will be considered to be driveways and do not have specific right-of-way requirements.

### **HERITAGE TRAIL**

A 35' trail easement is located continuously along the river. At the west end of the site, the easement is measured from the existing retaining wall. At the east end of the site, the easement is measured from the river edge. Public access to the trail is required.

### **25th STREET**

The northernmost block of 25th Street has been deeded over to an adjacent property owner for parking, and is not a public right-of-way. Vehicular circulation through the western parcels of the site is unable to use this block of 25th Street.

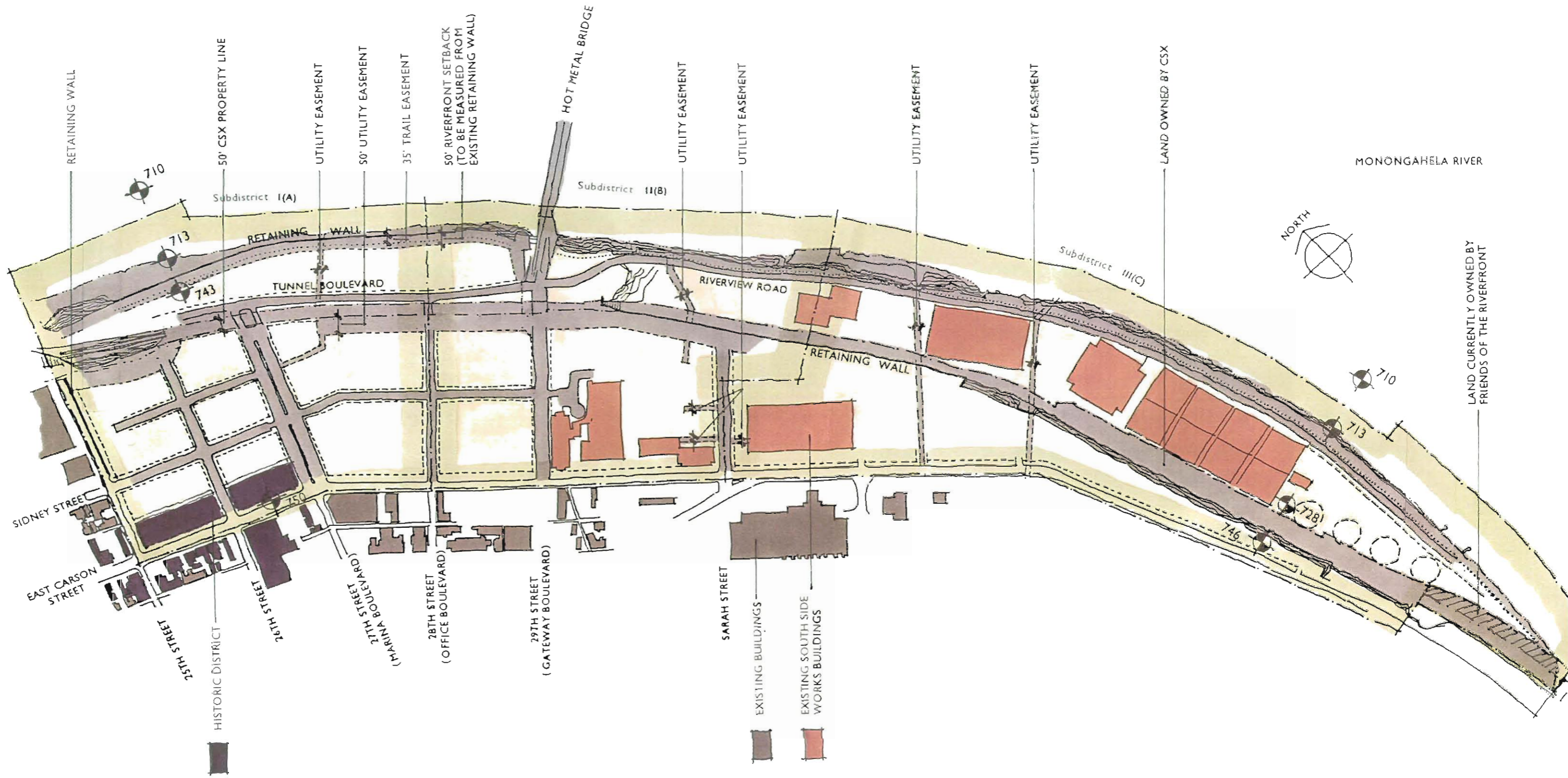
A 10' pedestrian easement is located alongside 25th Street to permit public access to the Trail.

### **FRIENDS OF THE RIVERFRONT PROPERTY**

At the east end of the site, Friends of the Riverfront has acquired a parcel of land formerly owned by CSX.

### **COAL TAR PITS**

Existing coal tar repositories are located at the eastern end of the site. Building construction in this vicinity may be difficult.



# EXISTING SITE PLAN

## URBAN OPEN SPACES

### GENERAL PRINCIPLES

The design of its open spaces will, as much or more so than its buildings, weave the South Side Works into the fabric of the city. These open spaces can celebrate unique Pittsburgh features - a river for both commerce and recreation, a park with a train running through it, vibrant, "real", urban streets - and become part of its landscape.

The original PLDP intended a variety of public open spaces to provide amenities to the development and the community. The site's characteristics are such that three primary types of public open spaces have evolved, i.e. the continuous area alongside the river, the linear railroad zone, and the urban streets. Each of these has unique features and opportunities.

Overall design principles include:

- The development of high quality public space is of key concern for development within the South Side Works project. This is to be provided through a series of public parks, streets and open spaces throughout the site.
- Open spaces shall contribute to the urban character of the development.
- The design should celebrate uniquely "Pittsburgh" qualities. Design of the open spaces should incorporate existing industrial artifacts wherever possible.
- Design of riverfront open spaces should, as established in the Riverfront Plan, make use of a "Pittsburgh Palette" of materials.
- Open spaces shall be accessible.
- Each of the three types of public open spaces shall be consistent in character from one property to the next.
- Design principles should incorporate sustainable and environment-sensitive attitudes

These Guidelines, while guiding the development of Open Spaces, are not intended to define the actual location of potential open spaces within the framework of the South Side Works redevelopment.

### RIVERFRONT PARK



The riverfront area is conceived mostly as a naturally landscaped park, with an indigenous palette of plant materials. At the western end of the site the riverfront park has two levels. The lower level should be naturally landscaped and blend into the adjacent Monongahela Park. The upper level has potential for more urban, hardscaped terraces. Along this upper level are extant remains of the former LTV Works, which should be incorporated into terrace and park designs.

An extension of the existing recreation trail from the Monongahela Park is to be developed across South Side Works. A 35' easement has been established across the site for this trail, which will become part of the Three Rivers Heritage trail system. The trail consists of both a crushed limestone running path and asphalt path for bikes and in-line skating. Where possible, it is encouraged that the Heritage Trail be integrally designed into project site planning.

The URA has retained LaQuatra Bonci Associates to study the trail system and connections throughout South Side Works.

### TUNNEL PARK



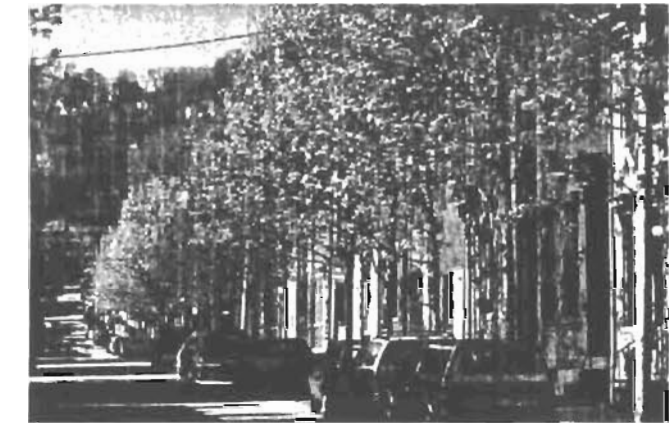
Tunnel Park creates an open, landscaped space amenity where CSX restrictions prohibit buildings. The park extends over the CSX tunnel and along its property, linearly connecting all three Subdistricts and establishing an internal organizing element over the length of the site.

Where the park is physically accessible to users (from 25th Street to 29th Street), the character of the park should be of a simply landscaped, open space. Primary landscaping materials shall be lawn, ground covers and large trees. Due to the limited soil depth over the tunnel, large trees will be restricted to the edges of the park, and to planting beds interspersed in parking zones. Informal clusters of trees are encouraged, rather than a formal planting pattern, and a minimum tree density of one tree per 25 linear feet of park-edge shall be required. Lawn will comprise a minimum of 75% of the park's area.

While the landscaped tunnel park connects the site from east to west, pedestrian and vehicular bridges crossing the park will knit the north and south sides of the site together. Vehicular crossings shall maintain the character of the urban streets that run perpendicular to Tunnel Park. Pedestrian crossings shall be simple, well-lighted paths. At tunnel openings, opportunities should be provided for train-watching.

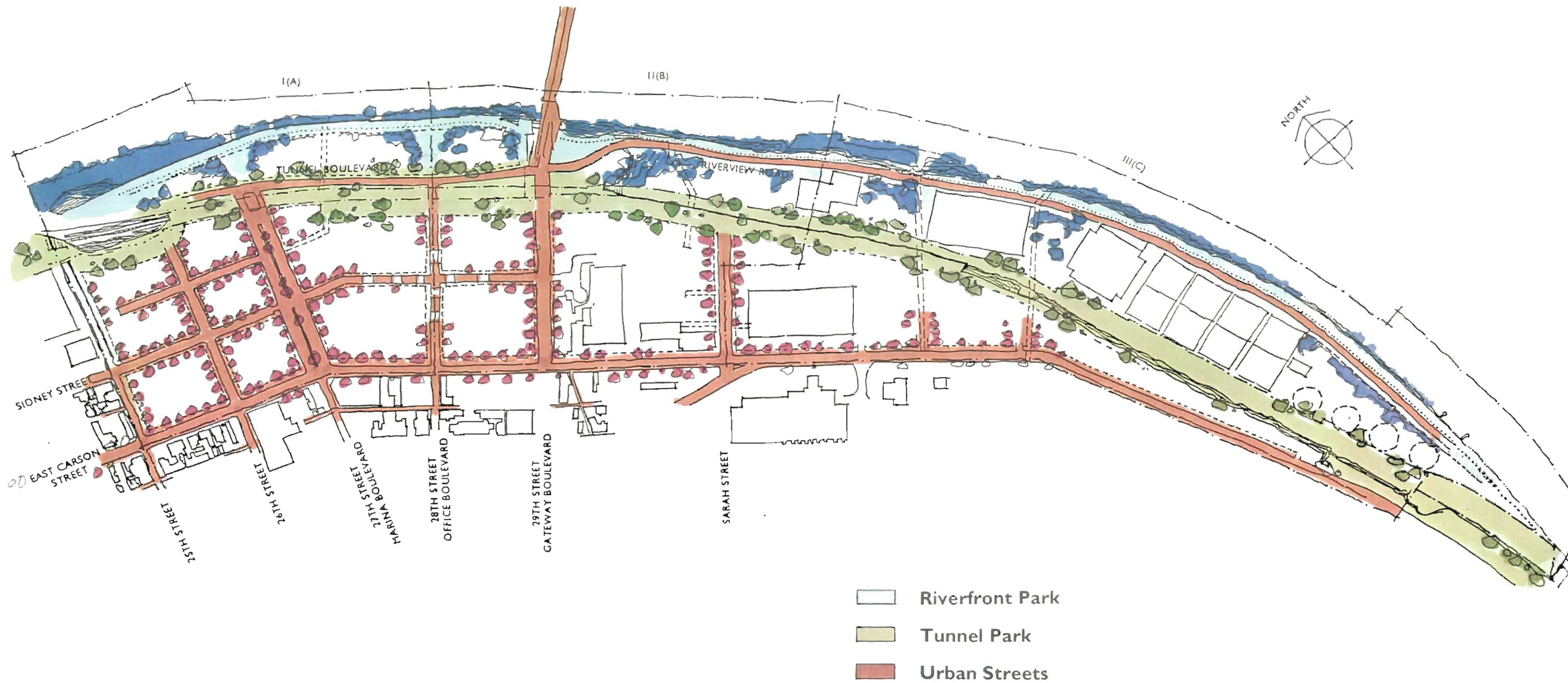
Where the CSX track area is exposed (east of 29th Street), areas adjacent to the track are to be landscaped. Landscaping in these areas may be comprised of lawn, ornamental grasses, and groundcovers, as indicated in the landscape guidelines in this document. Due to issues of accessibility, low-maintenance plantings are encouraged along the rail line.

### URBAN STREETS

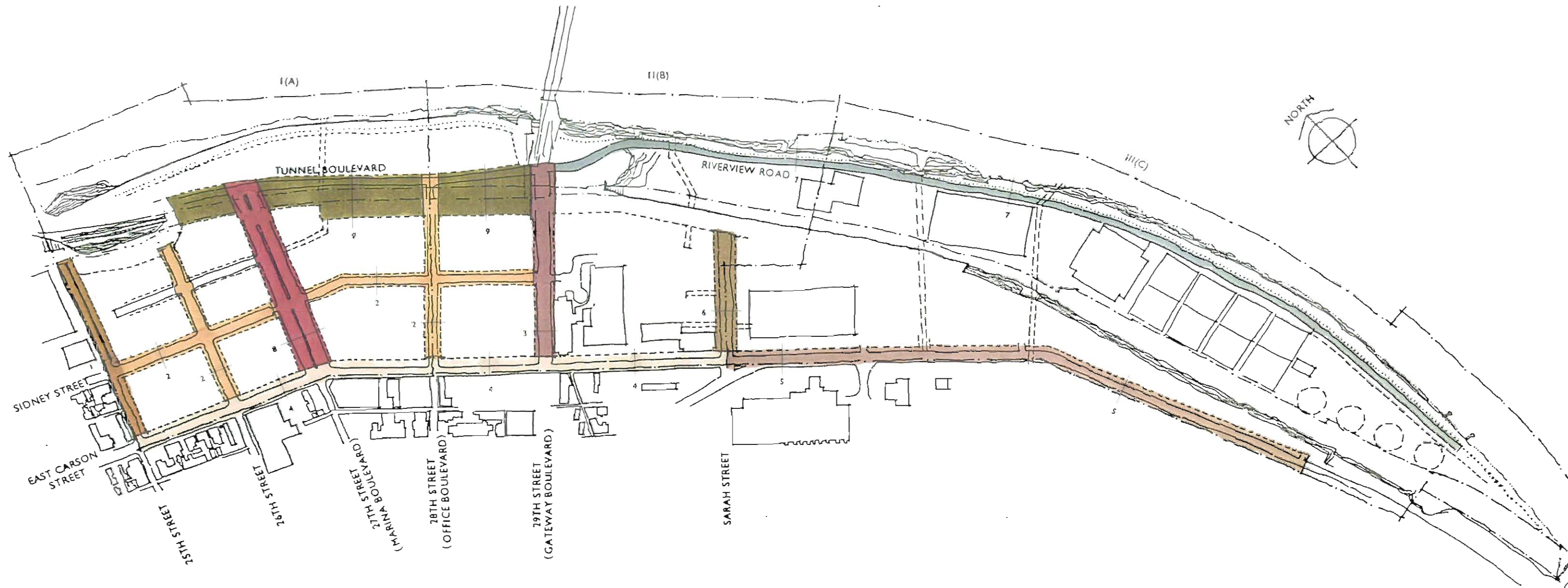


Integration of the South Side Works to the adjacent community is one of the key goals stated in the PLDP. The layout and character of the streets need to work towards this goal. First, the streets need to continue the South Side grid, and second, they need to capture the mixed use, scale and energy of existing South Side streets. The predominant landscaping feature should be urban street trees, planted in regular intervals of 20 to 25' on center. Recessed terraces and courtyards shall be landscaped to be shaded in summer, friendly and colorful.

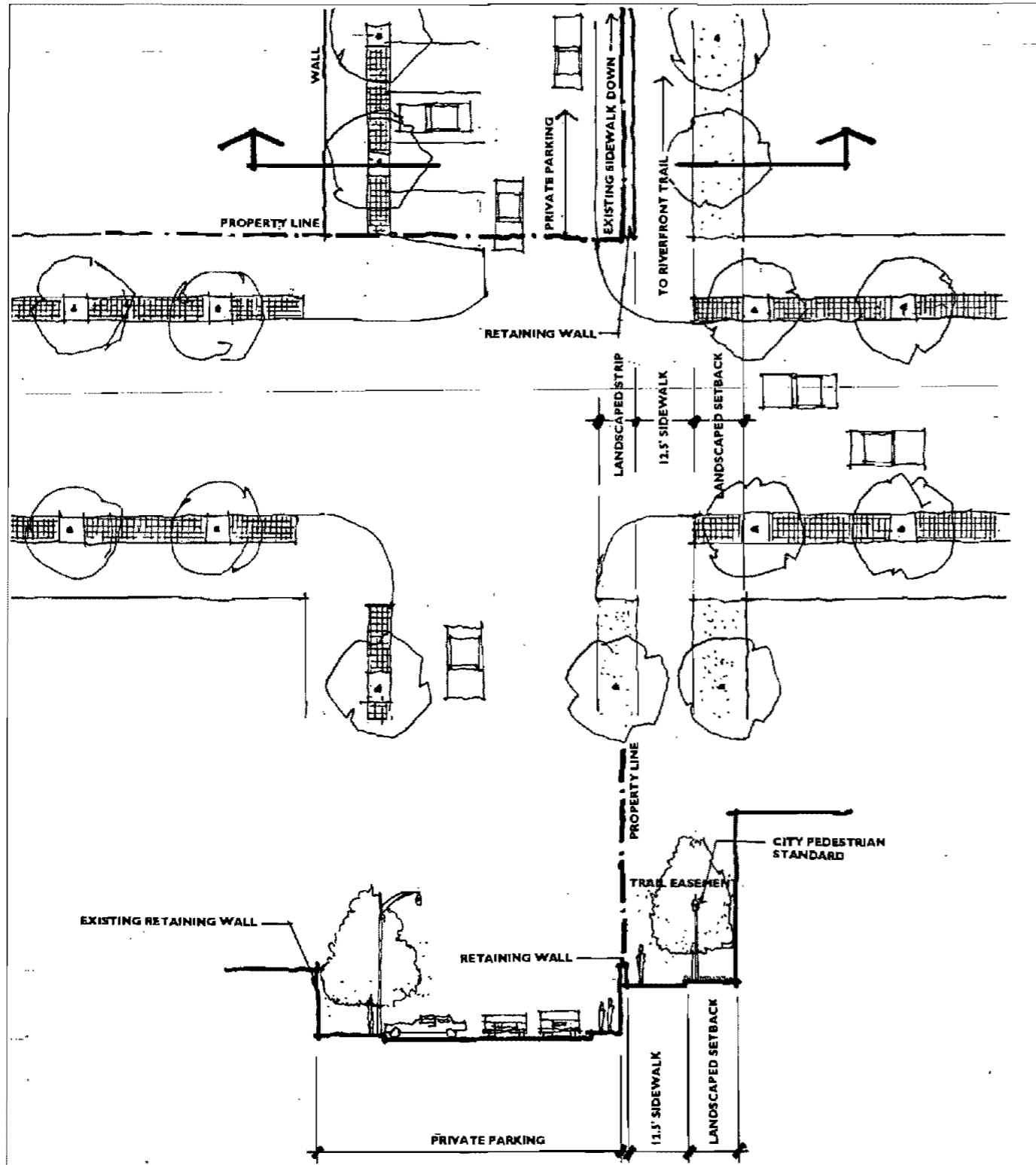
The scale of the streets, lighting, landscaping and setback criteria are detailed on following pages. These street guidelines and details are updated modifications of the original design proposals prepared by Michael Stern, Landscape Architect and the Urban Redevelopment Authority.



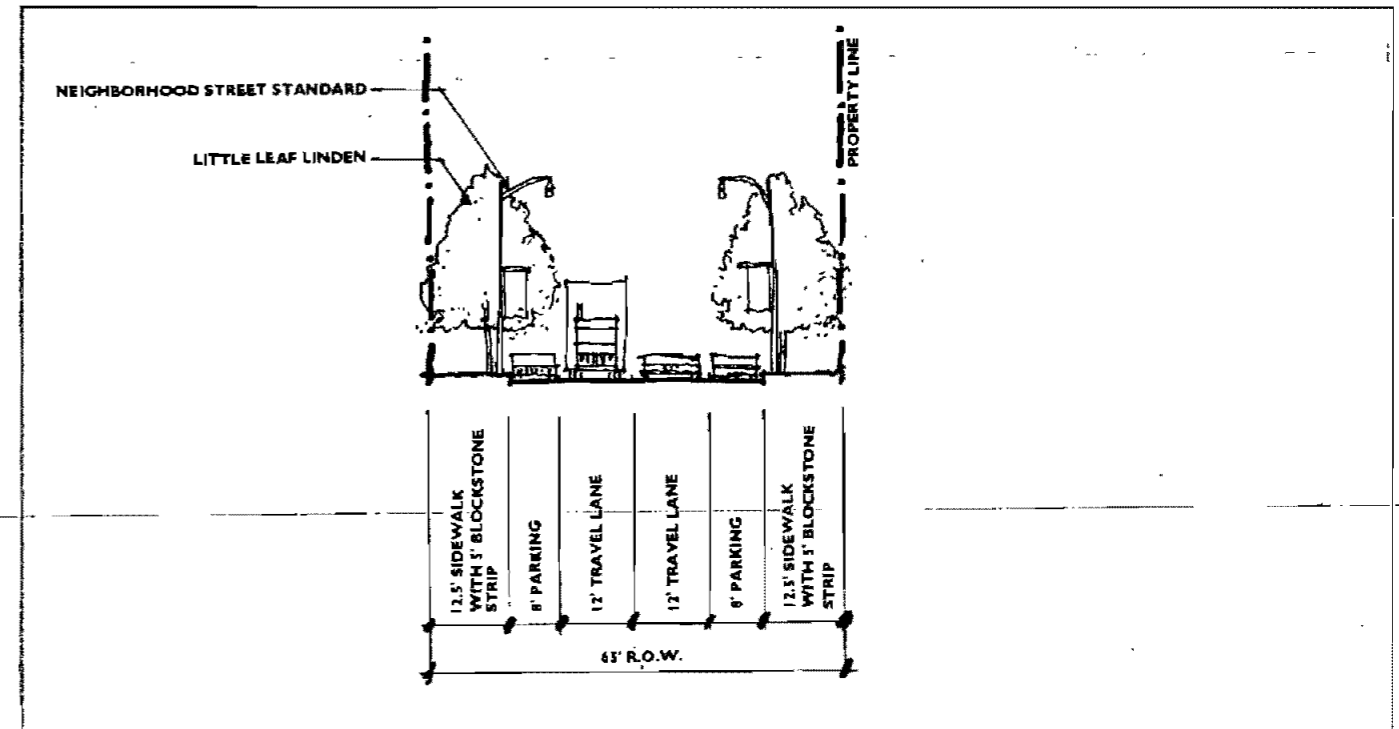
# URBAN OPEN SPACES



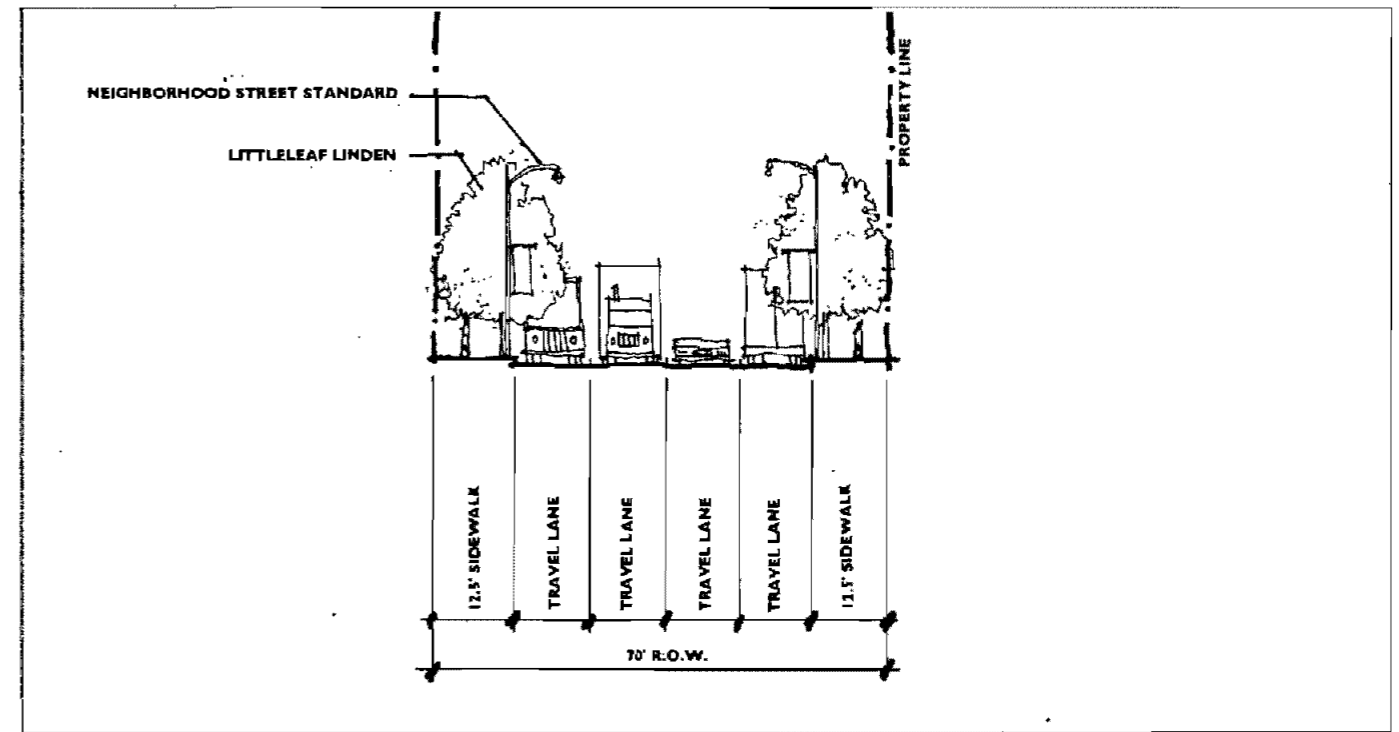
- |   |                                 |   |                        |
|---|---------------------------------|---|------------------------|
|  | 25TH STREET                     |  | TUNNEL BOULEVARD       |
|  | 27TH STREET (MARINA BOULEVARD)  |  | SARAH STREET EXTENSION |
|  | 29TH STREET (GATEWAY BOULEVARD) |  | RIVERVIEW ROAD         |
|  | EAST CARSON STREET "A"          |  | SECONDARY STREETS      |
|  | EAST CARSON STREET "B"          |   |                        |



1 25TH STREET AT SIDNEY STREET

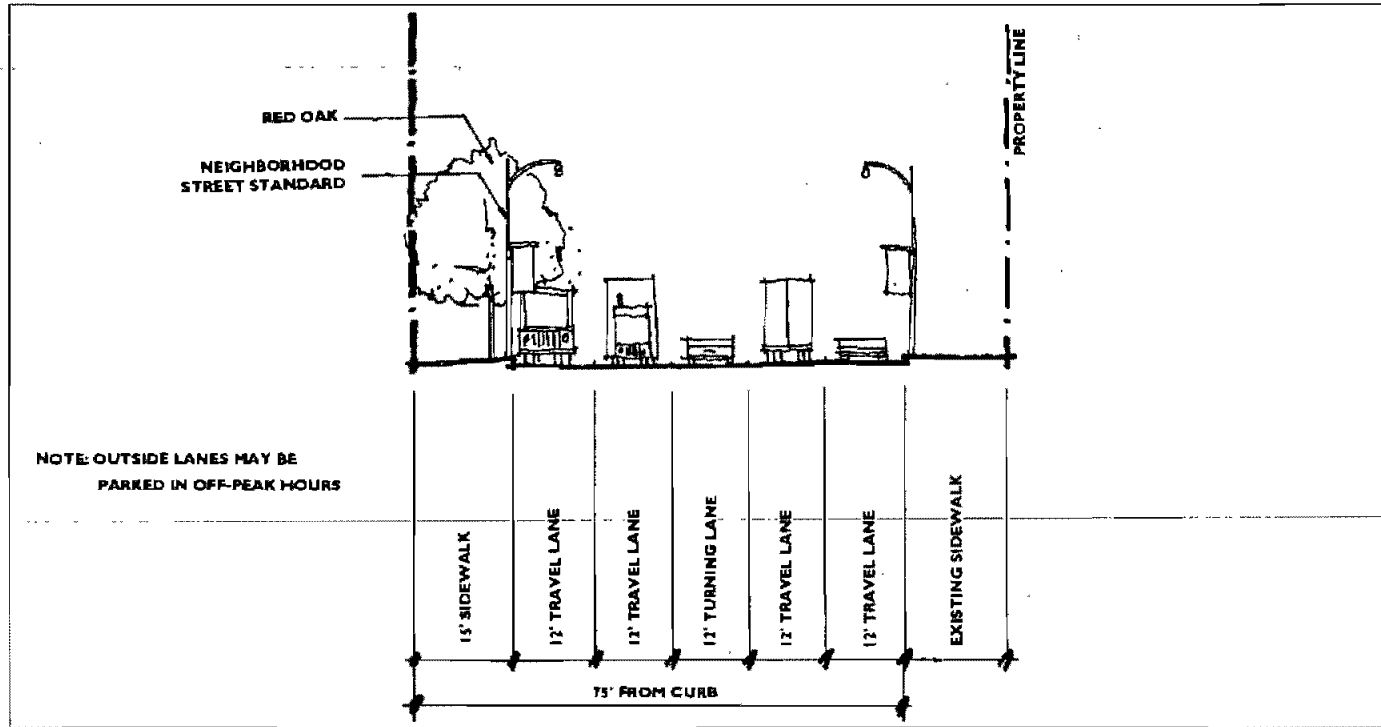


2 SECONDARY STREETS

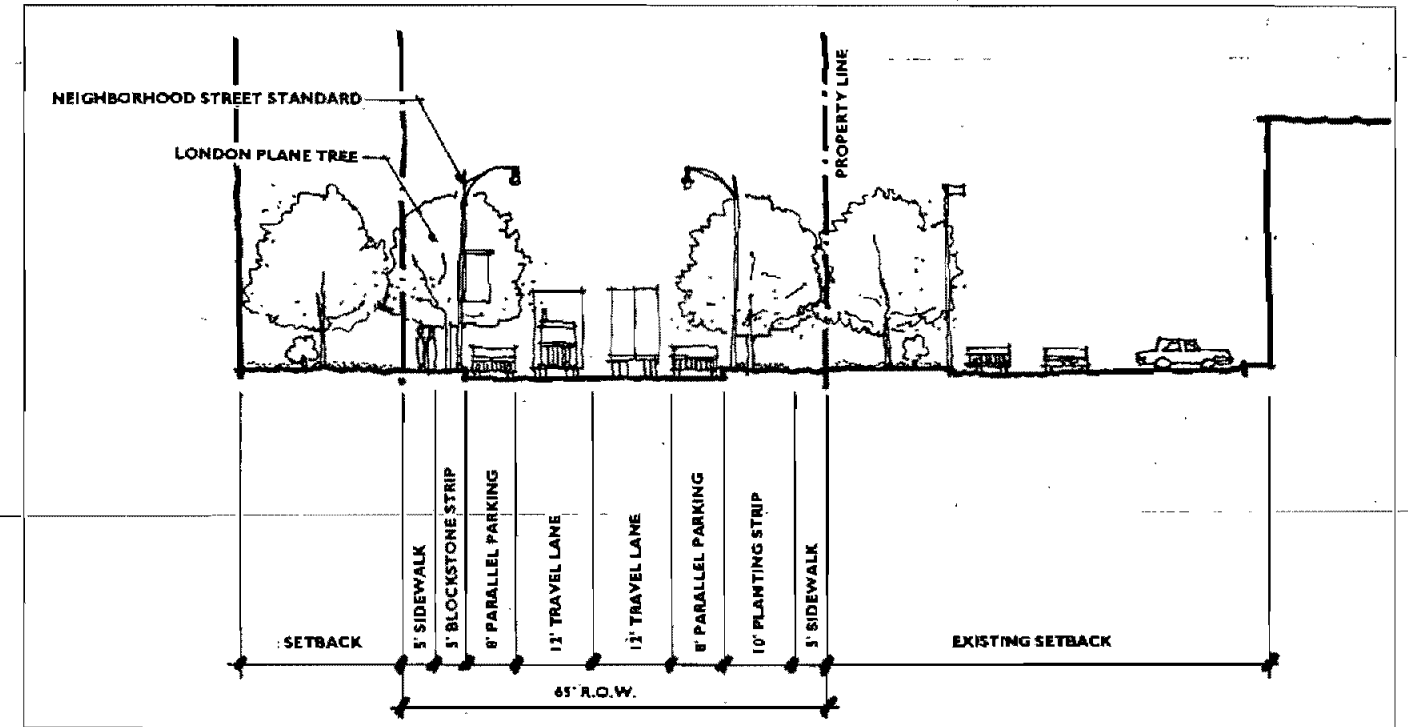


3 29TH STREET

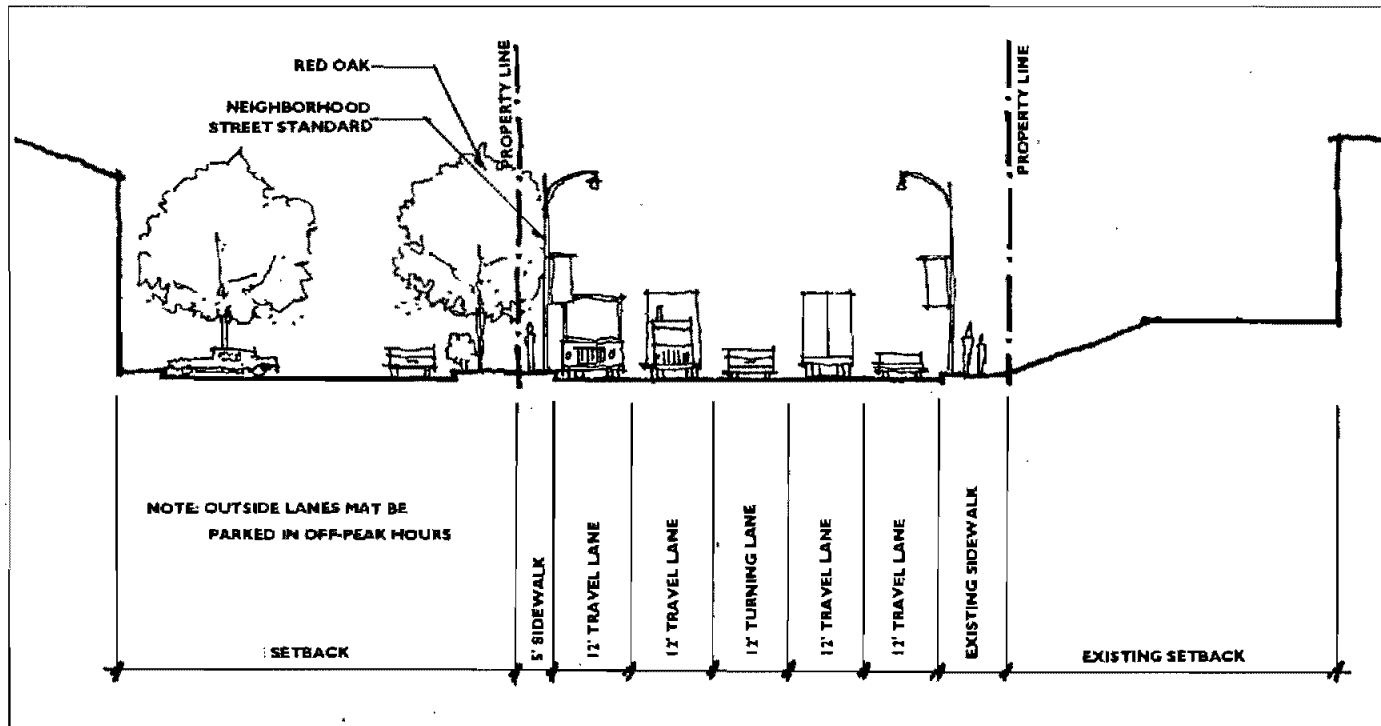
# STREET GUIDELINES



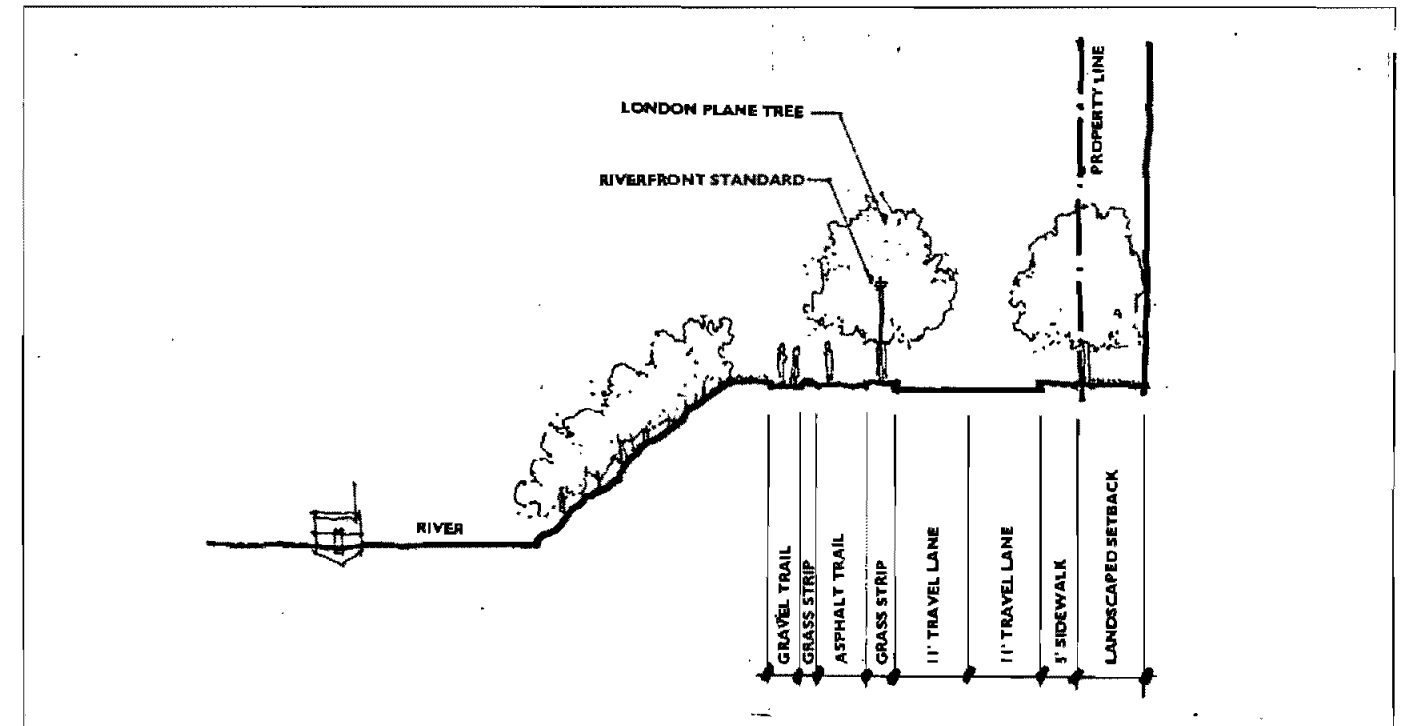
4 EAST CARSON STREET "A"



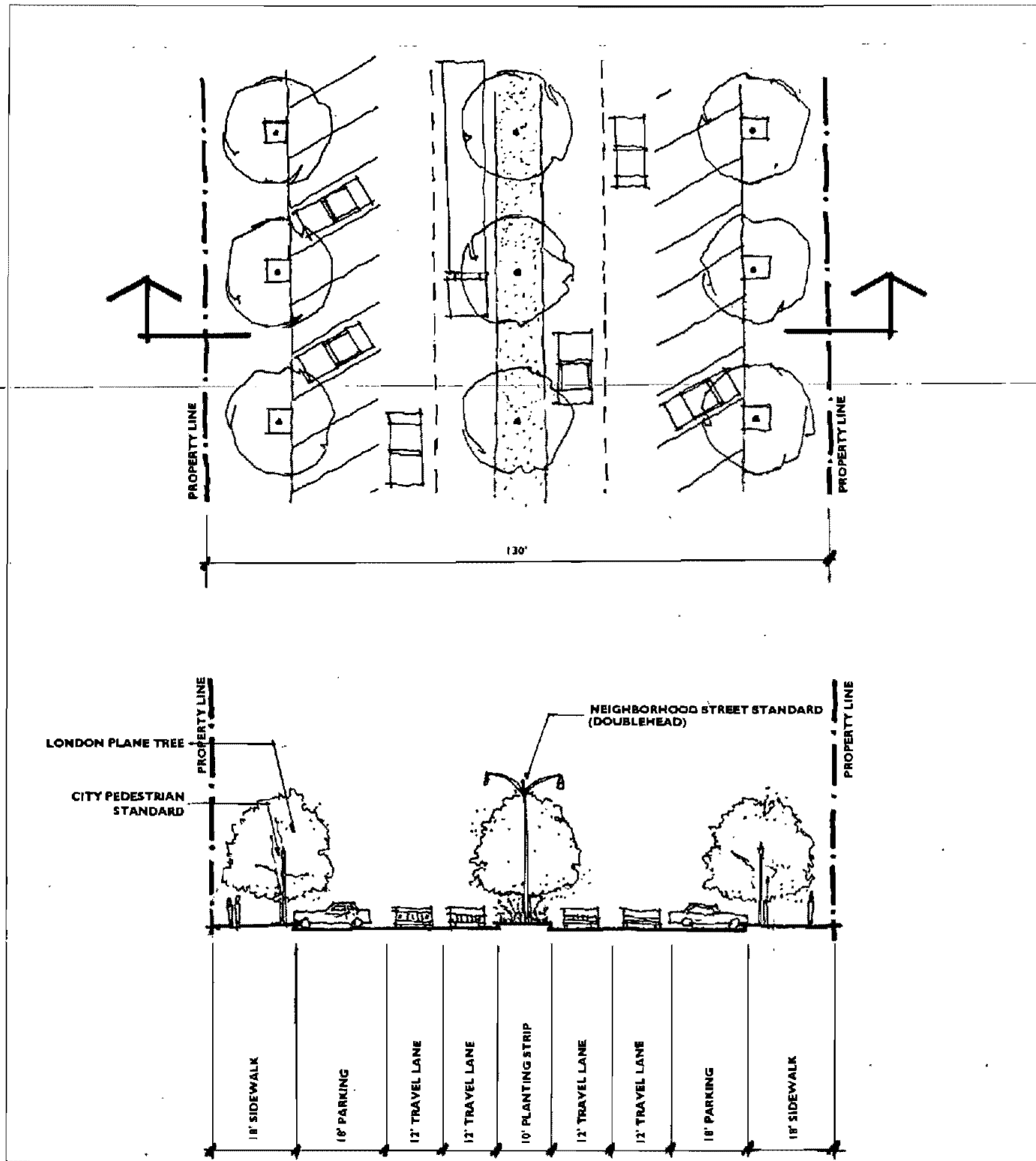
6 SARAH STREET EXTENSION



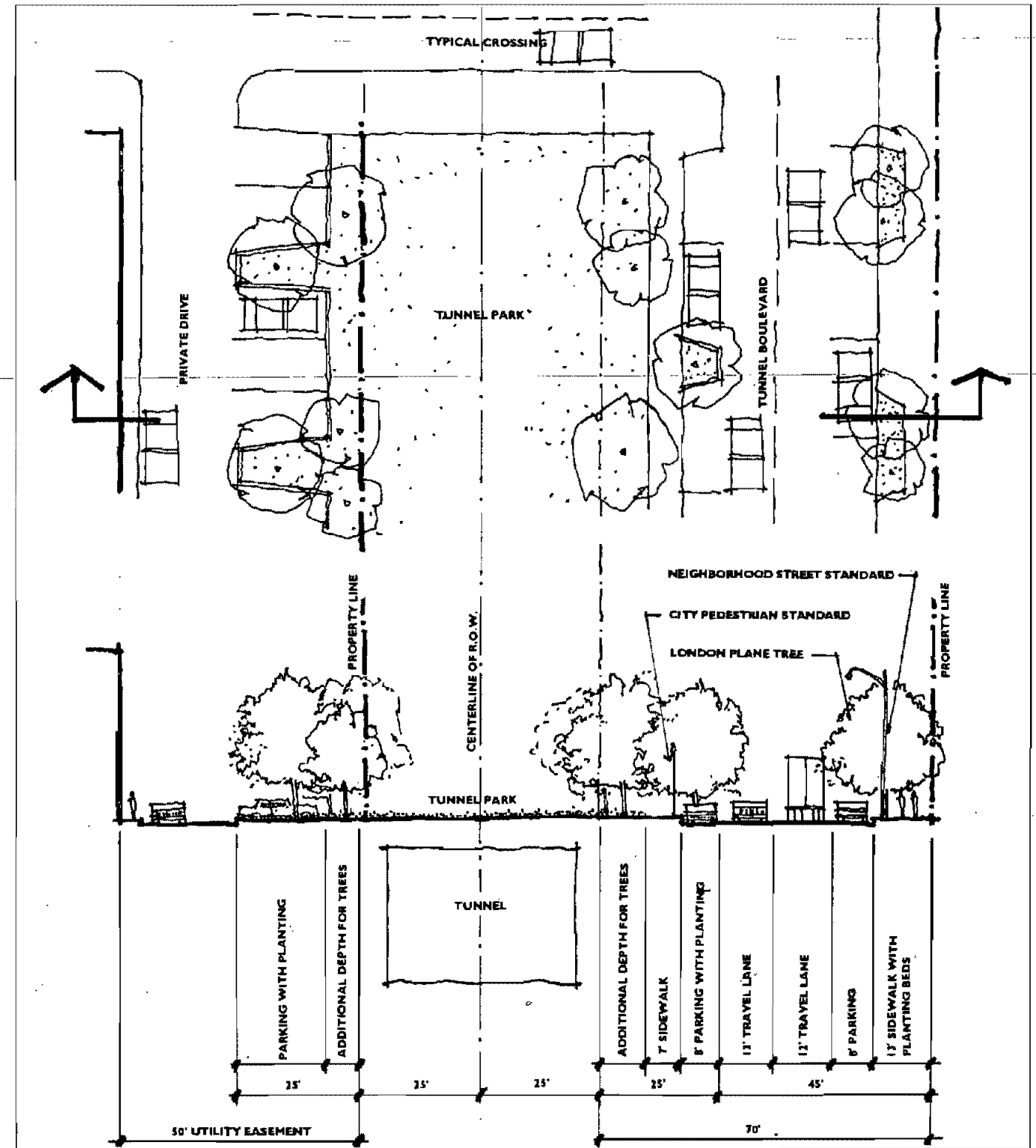
5 EAST CARSON STREET "B"



7 RIVERVIEW ROAD



8 27TH STREET



9 TUNNEL BOULEVARD

## LANDSCAPING

### GENERAL PRINCIPLES

The site has three landscaping zones - Riverfront Zone, Tunnel Park and Urban Streets. Each of these is to have a distinct character:

- The Riverfront Zone shall be densely planted, with indigenous plant varieties. The character of the landscape shall continue that of the adjacent South Side park and shall be consistent with the "Community" Riverfront District outlined in the Riverfront Development Plan. On the west side of the Riverfront Zone, there are two levels to the park. On the lower level, existing plants are to remain. On the upper level the planting shall be consistent with the schedule below and may be more structured.
- Tunnel Park is a green linear park running east/west, with hard-surfaced pedestrian paths and vehicular streets criss-crossing the park north/south. The park shall be simply, informally planted, primarily with large trees and green lawn, similar in palette to West Park or Point State Park. The overall character should be that of an open space which is green.
- Urban Streets shall be more formally planted, with regular street trees and curbside planting strips emphasizing the street grid.

### PLANT LIST

Street trees shall be installed at a minimum size of 3-1/2" to 4" caliper at a minimum spacing of 25' (20' preferred).

The plant list below represents a combined list from the PLDP and LaQuatra Bonci work on the Heritage Trail. Other plant material may be proposed for approval by the City.

### RIVERFRONT ZONE

#### 1. Street and Riverfront Terrace Trees

Red Sunset Red Maple	Acer Rubrum 'Franksred'
Common Hackberry	Celtis Occidentalis
Patmore Ash	Fraxinus Pennsylvania 'Patmore'
London Plane Tree	Platanus X Acerfolia
Red Oak	Quercus Rubra

#### 2. Flowering/Ornamental Trees

Hedge Maple	Acer Campestre
Serviceberry	Amelanchier Canadensis
River Birch	Betula Nigra
Red Bud	Cercis Canadensis

#### 3. Shrubs

Red Osier Dogwood	Cornus Sericea
Winter Red Winterberry	Ilex Verticillata 'Winter Red'
Spicebush	Lindera Benzion
Northern Bayberry	Myrica Pennsylvania
Mugo Pine	Pinus Mugo
Korean Spice Viburnum	Viburnum Carlesii

#### 4. Groundcovers

Purpleleaf Wintercreeper	Euonymus Fortunei Colorata
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#### 5. Ornamental Grasses

Maiden Grass	Miscanthus Sinensis 'Gracillmus'
Fountain Grass	Pennisetum Alopecuroides
Dwarf Fountain Grass	Pennisetum Alopecuroides 'Hameln'

#### 6. Perennials

Day Lily	Hemerocallis Hybrids
Lavender	Lavandula Augustifolia 'Munstead Strain'
Black Eyed Susan	Rudbeckia Fulgida Speciosa

### TUNNEL PARK

#### 1. Primary Tunnel Park Trees

London Plane Tree	Platanus X Acerfolia
Red Oak	Quercus Rubra
Red Sunset Red Maple	Acer Rubrum 'Franksred'

#### 2. Flowering Accent Trees

Crabapple Tree	Malus pumila
Flowering Cherry	Prunus sp.
Serviceberry	Amalanchier laevis

#### 3. Shrubs

Japanese Barberry	Berberis thunbergii
Red Osier Dogwood	Cornus Sericea
Cotoneaster	Cotoneaster sp.
Forsythia	Forsythia x intermedia
Azalea Calendulaceum	Rhododendron calendulaceum

#### 4. Groundcovers

Purpleleaf Wintercreeper	Euonymus fortunei "Colrata"
Creeping Lilyturf	Liriope specata
Periwinkle	Vinca minor
Baltic Ivy	Hedera helix baltica

#### 5. Perennials

Day Lily	Hemerocallis Hybrids
Lavender	Lavandula Augustifolia 'Munstead Strain'
Black Eyed Susan	Rudbeckia Fulgida Speciosa

### URBAN STREETS

#### 1. Street Trees

London Planetree	Platanus x acerifolia "Bloodgood"
------------------	-----------------------------------

Red Oak  
Honey Locust  
Littleleaf Linden  
Red Maple

Quercus rubra  
Gleditsia triacanthos inermis  
Tilia cordata  
Acer rubra

#### 2. Parking Lot Trees

Green Ash  
Sweet Gum  
Ginkgo  
Callery Pear  
Honey Locust  
Littleleaf Linden  
Red Maple

Fraxinus pennsylvanica  
Liquidambar straciflua  
Ginkgo bilboa  
Pirus calleryana  
Gleditsia triacanthos inermis  
Tilia cordata  
Acer rubra

#### 3. Evergreen Shrubs

Japanese Yew  
Blue Holly

Taxus cuspidata  
Ilex x meservae

#### 4. Deciduous Hedge

Privet

Ligustrum sp.

#### 5. Ornamental Shrubs

Azalea Calendulaceum  
Rhododendron cultivars  
Catawba Rhododendron  
Japanese Barberry  
Red Osier Dogwood  
Cotoneaster  
Forsythia  
Northern Bayberry  
Winter Red Winterberry

Rhododendron calendulaceum  
Rhododendron cv.  
Thododendron catawbiense cultivar  
Berberis thunbergii  
Cornus Sericea  
Cotoneaster sp.  
Forsythia x intermedia  
Myrica pennsylvanica  
Ilex Verticillata "Winter Red"

#### 6. Ornamental Groundcovers

Moonshine Yarrow  
Daylilies  
Black Eyed Susan  
Autumn Joy Sedum  
Viburnum  
Heartleaf Bergenia  
Lambs Ears  
Red Eppimedium  
Creeping Lilyturf

Archillea "moonshine"  
Hemerocallis sp.  
Rudbeckia fuldiga  
Sedum telephium "Autumn Joy"  
Viburnum sp.  
Bergenia cordifolia  
Stachys byzantina  
Edimeium x rubrum  
Liriope specata

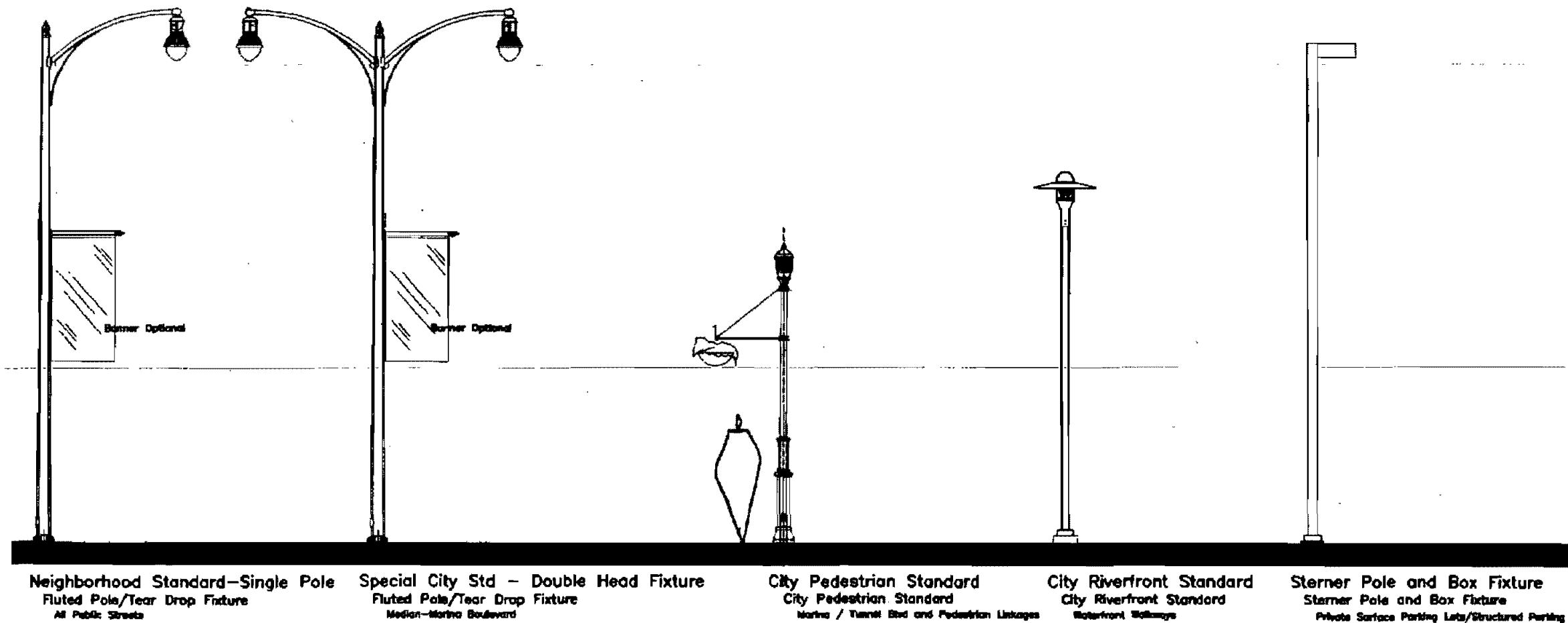
#### 7. Evergreen Groundcovers

Purpleleaf Wintercreeper  
Periwinkle  
Baltic Ivy

Euonymous fortunei "Colrata"  
Vinca minor  
Hedera helix baltica



# LANDSCAPING



## LIGHTING

### GENERAL PRINCIPLES

- Lighting shall create a safe, attractive nighttime environment.
- Lighting shall express the hierarchy of pedestrian and vehicular circulation zones.
- Lighting shall define building entrances, highlight architectural and landscaping features.
- Lighting shall provide the required functional lighting for safety and clarity of movement.
- Lighting techniques shall

minimize negative impacts of illumination such as high illumination levels, distracting glare, and spillover into surrounding areas.

### RIVER ZONE

All development near the waterfront and along the Heritage Trail will utilize the Downtown Waterfront Standard. Minimum spacing and footcandle levels should meet city standards.

### URBAN OPEN SPACES

Lighting for urban open spaces incorporates all areas with significant pedestrian traffic such as Tunnel Park, Marina Boulevard, terraces, courtyards, and walkways. The city pedestrian standard with a maximum pole height of 14' should be used in all urban open spaces. Illumination levels will be a minimum of .5 to 1.0 footcandles.

### URBAN STREETS

All streets shall incorporate approved City standard lights.

Public streets with the exception of the median on Marina Boulevard should utilize the neighborhood standard. The Special City standard should be used along the median of Marina Boulevard. Minimum spacing and footcandle levels should meet city standards.

### PARKING

Parking garages and surface lots should be well-lit and accented to provide a safe environment. Footcandle levels shall meet city standards. All roof tops of

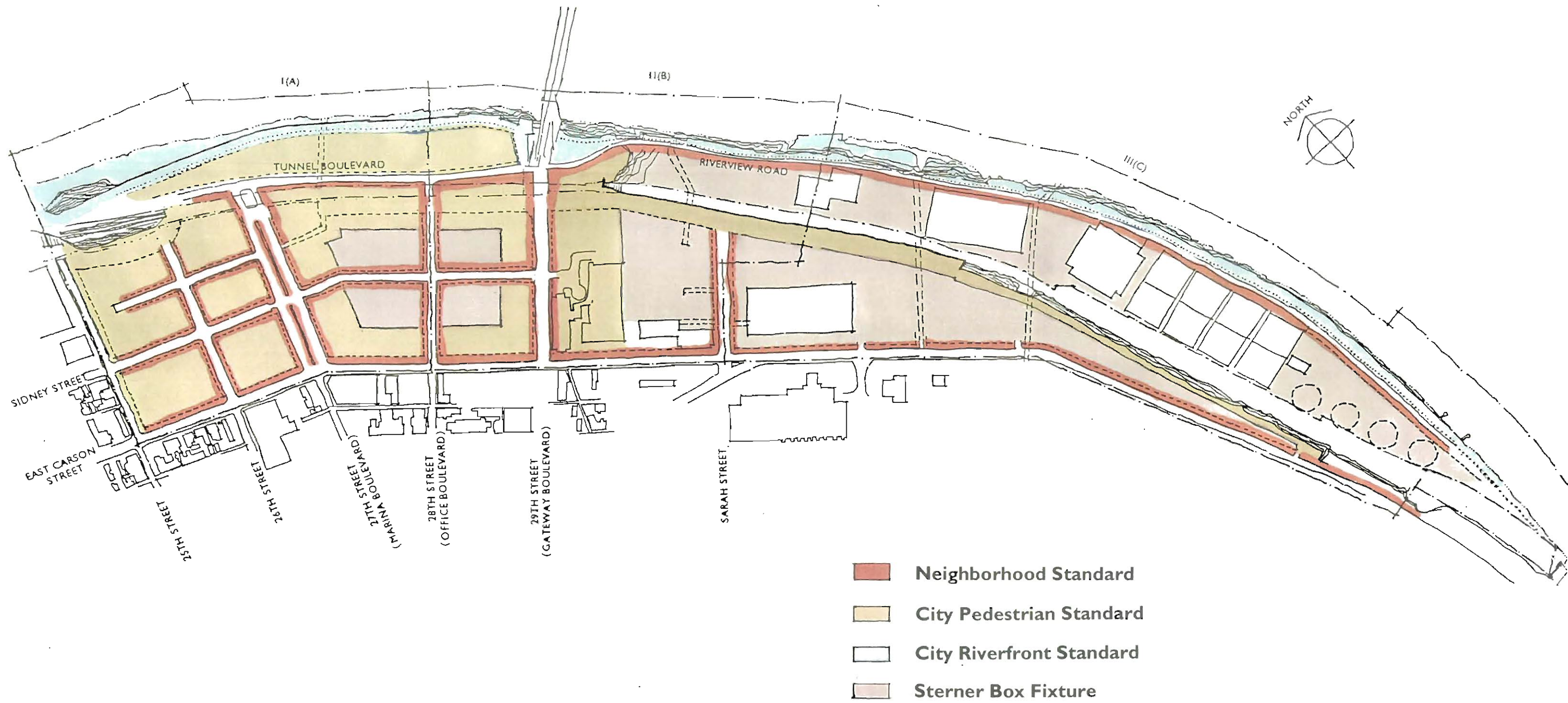
parking garages will utilize the Sterner box fixture. Private surface parking lots between (small size) and (medium size) will have the option of using city pedestrian standards or Sterner box fixtures. Fixtures should be selected to minimize distracting glare and hazardous interference of any kind while still responding to the scale of surrounding buildings. The pole height of the Sterner box fixture should vary in accordance with the scale of the surrounding environment.

### DRIVEWAYS

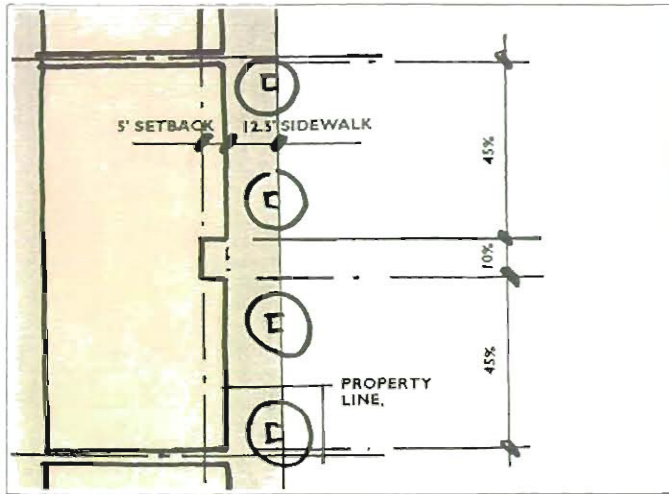
All driveways should utilize either city pedestrian standards or neighborhood standards depending on the scale and context of the driveway. The selected fixtures should match the primary lighting scheme of the surrounding areas. For example, in a district where the primary lighting scheme utilizes pedestrian standards the pedestrian fixtures should also be used along the driveway.

### BUILDING ILLUMINATION

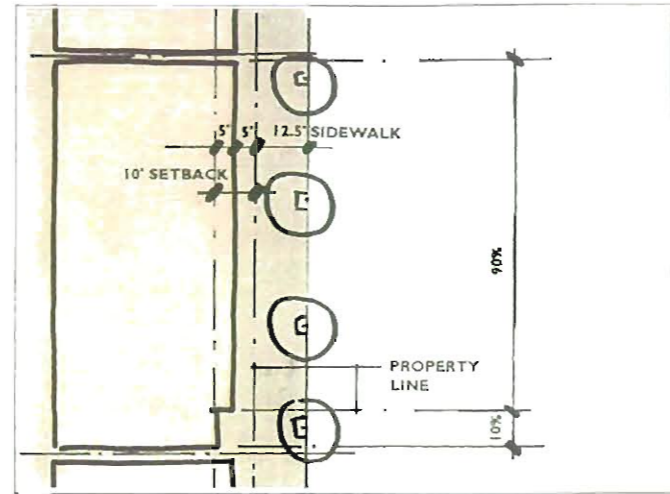
All building illumination should be indirect (no light source visible). Indirect wall lighting, "wall washing," overhead downlighting or interior illumination which spills outside is encouraged. Building entrance and architecture features should be clearly highlighted and defined.



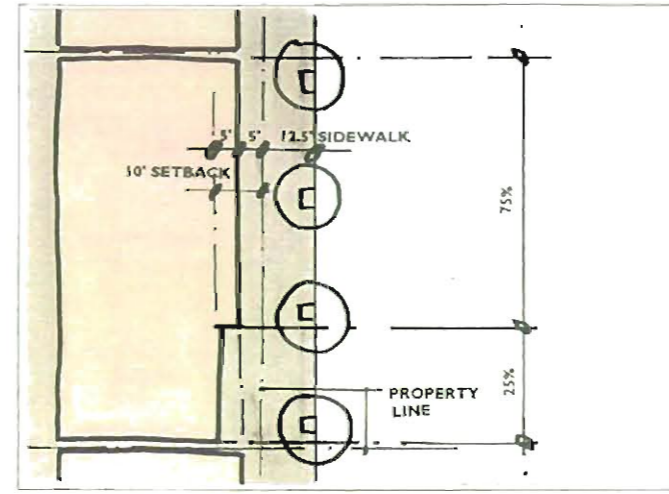
# LIGHTING



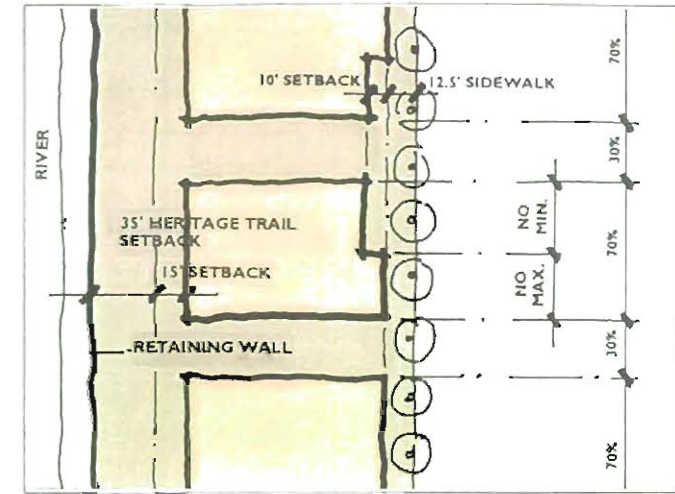
**Setback Type 1: 0' minimum - 5' maximum**  
 90%, minimum, of the building frontage must be built to the 0' line. The setback area shall be paved to compliment the sidewalk. No grassed areas will be allowed.



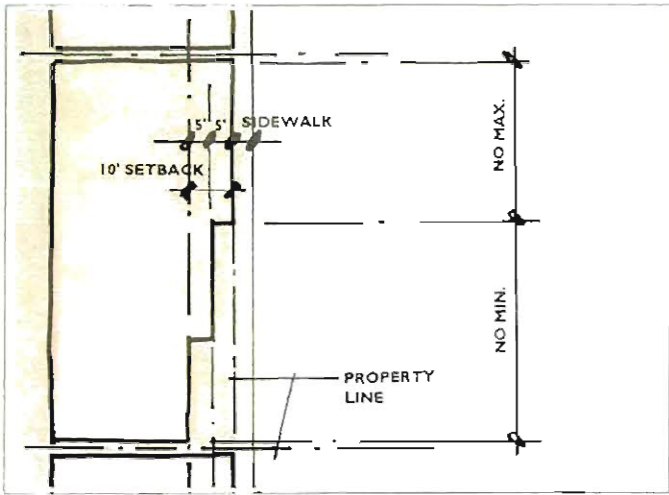
**Setback Type 2: 5' minimum - 10' maximum**  
 90%, minimum, of the building frontage must be built to the 5' line. The setback area shall be paved to compliment the sidewalk. No grassed areas will be allowed.



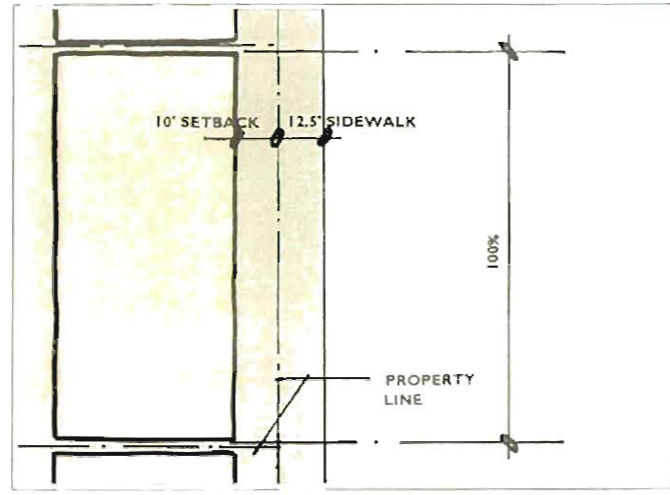
**Setback Type 3: 5' minimum - 10' maximum**  
 75%, minimum, of the building frontage must be at 5'. The setback area shall be paved to compliment the sidewalk. No grassed areas will be allowed.



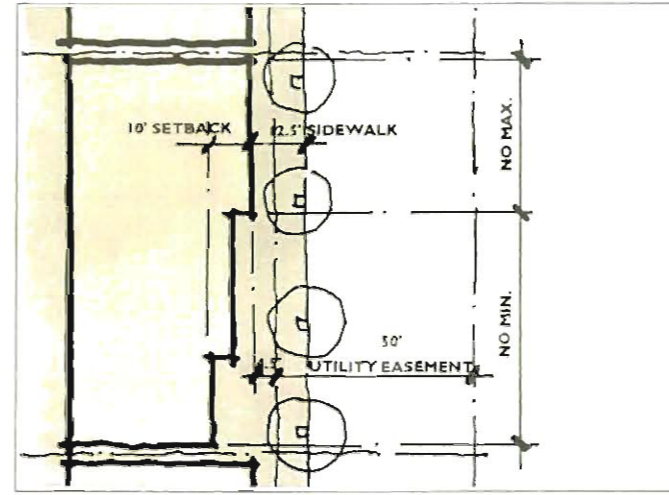
**Setback Type 4: River/Tunnel Park Parcels**  
 30%, minimum, of the site must be open for views to river. All buildings shall have a minimum of 15' setback from the Heritage Trail easement. Terraces and other outdoor areas may be built in the easement area. Front Setbacks are 0'-10' with no % required.



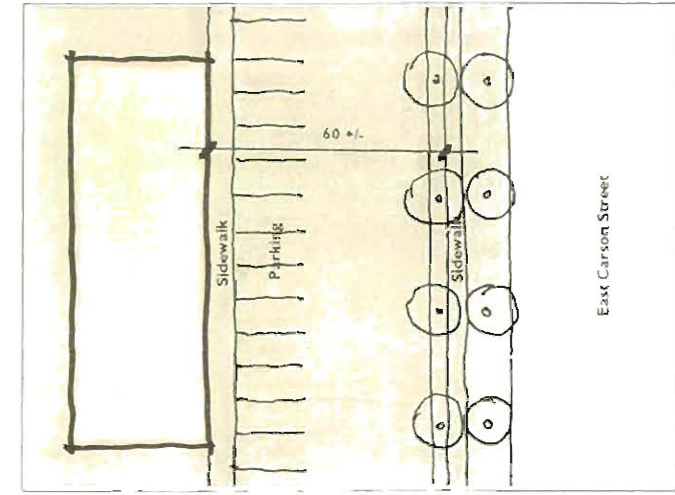
**Setback Type 5: 0' minimum - 10' maximum**  
 No % required.



**Setback Type 6: 10'**  
 Buildings along 29th Street (Gateway Blvd.) shall maintain the 10' setback established by the IBEW building.



**Setback Type 7: South Tunnel Park**  
 The build to line shall be 54.5' to incorporate the utility easement, potential drives and a sidewalk. From this line, the setback is 0'-10' with no % required.



**Setback Type 8: 60' +/-**  
 Match the existing UPMC setback. Provide a green strip along East Carson.

**BUILDING FRONTAGE**

**GENERAL PRINCIPLES**

In accordance with the PLDP and ensuing discussion, the following principles for building siting and frontage shall be followed:

- Building configuration shall reinforce the urban character of the South Side Works development and neighboring community.
- Buildings shall be designed to reinforce public parks, streets and open spaces.
- Buildings shall front these public open spaces in a simple and direct manner.
- Primary entrances of buildings shall be located on public streets or open spaces and shall be easily identifiable.

- Buildings shall not be oriented to front on parking or service areas.
- Buildings shall be designed to overlook streets and open spaces to create a "self-policing" environment.
- Siting of buildings shall avoid the creation of remnant open spaces.
- Building facades which are adjacent to streets and open spaces shall have a high degree of first floor transparency.
- Buildings shall be sited in accordance with the setbacks diagrams above.
- Throughout the site, there are several locations where vistas determine that buildings shall have prominent architectural features. These features shall be consistent with the materials and other design guidelines for their locations. Locations requiring these are indicated on the adjacent plan.



# BUILDING FRONTAGE & SETBACKS

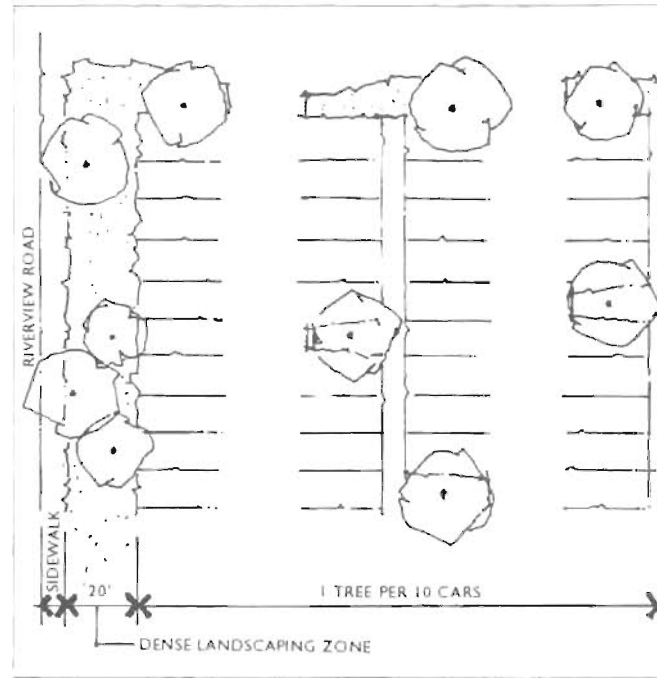
## PARKING & SERVICE

### GENERAL PRINCIPLES

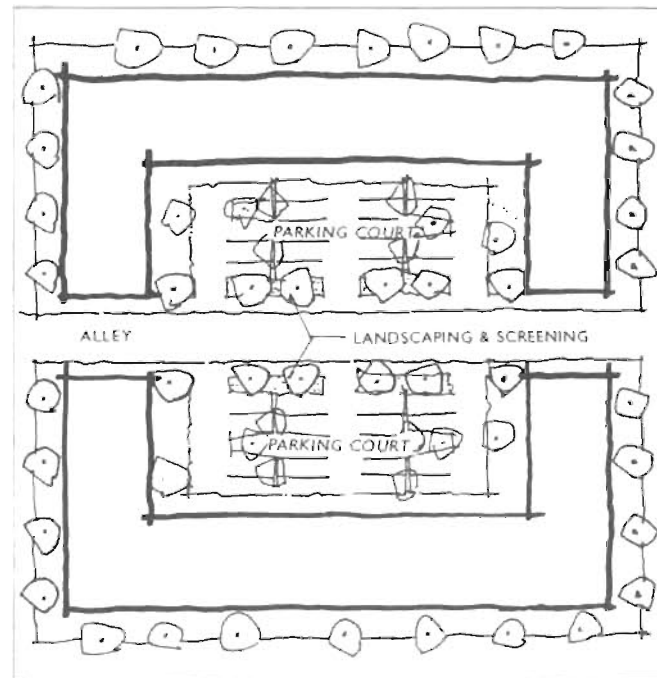
As indicated in the original PLDP, the overriding intention is to avoid a suburban model of development. Buildings are to be primary, parking is to be secondary. Minimum parking provisions shall be exercised throughout the development and the following principles apply throughout the development:

- Public transportation is to be accommodated.
- Utilization of shared parking facilities is encouraged. Building uses which enable this shall be explored.
- On-street parking shall be provided wherever feasible.
- Parking sites shall not front on streets or urban open spaces, but shall be planned for mid-block locations.
- Surface parking lots between buildings shall be designed as landscaped courts.
- Structured parking shall be strongly encouraged, to maximize the amount of land available for development.
- Parking garages shall contribute positively to the urban quality of the development and receive the same attention in siting and design as commercial, retail and residential buildings. Parking garages shall be designed like buildings which happen to house cars, and shall have facades which screen views of the cars inside.
- Public access to parking spaces shall be provided where facilities are near public trails and open spaces.
- Service access shall not be located on primary streets. Buildings shall be serviced either from the rear or from service courts that will be screened from view from public streets.
- Parking and service access shall be designed to minimize the number of curb cuts in right-of-ways.
- Minimum standards for landscaping in parking lots shall conform to City of Pittsburgh standards. More stringent standards apply to riverfront parking.

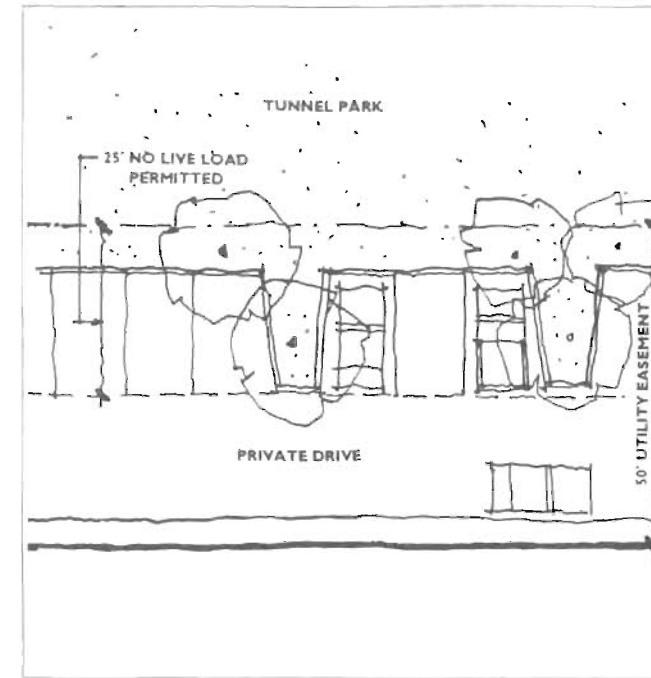
Special parking conditions shall conform to the adjacent diagrams



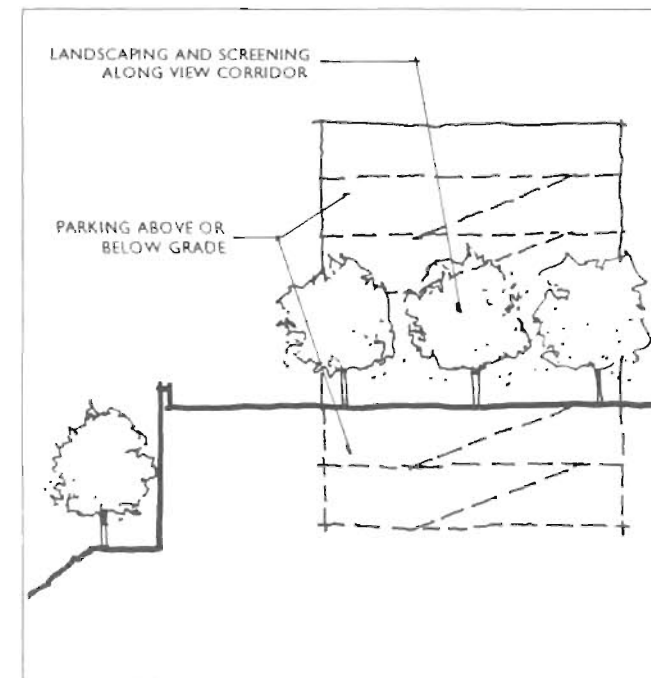
**1. Riverview Road:** Parking lots shall be densely screened with River Zone plant materials and parking lot planting shall include one tree per ten cars.



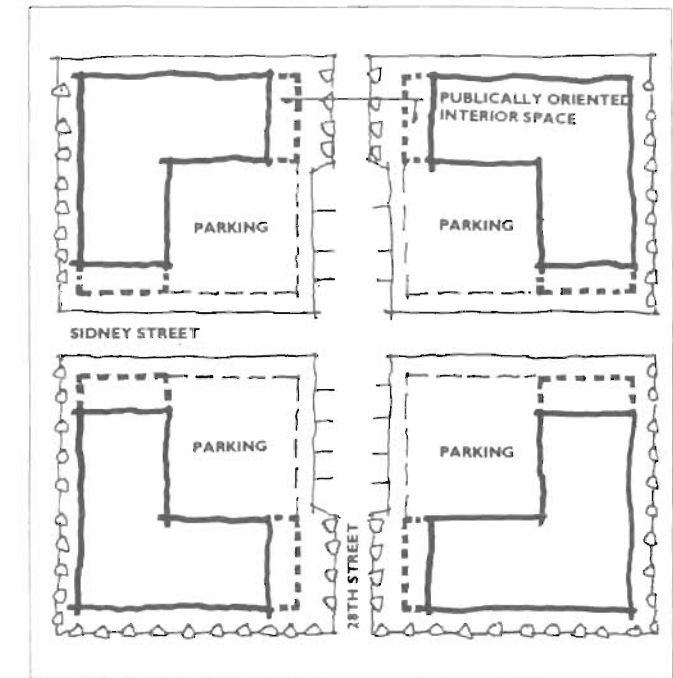
**2. 25th to 27th Interior Parking Lots:** Surface parking lots between buildings shall be designed as landscaped courts, with screening of cars along the view corridors.



**3. Optional Tunnel Parking:** Private drives and head-in parking may be located along Tunnel Park. Parking shall be planted at one tree per 15 cars.



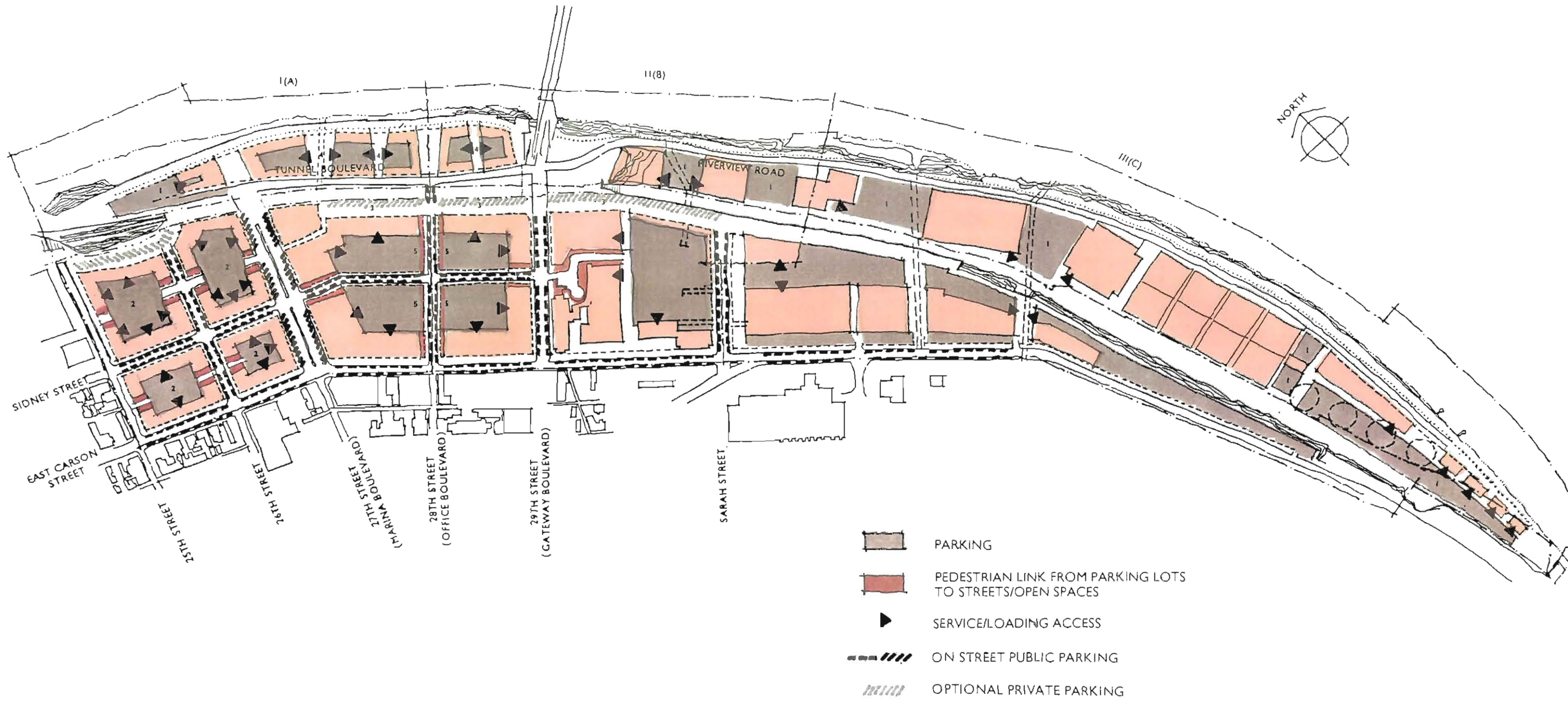
**4. Parking North of Tunnel Park:** Parking lots shall be screened from both Tunnel Park and the River and view corridors to the river must be maintained.



**5. 28th & Sidney Streets:** Pedestrian connections to and from interior parking lots and public spaces shall be well-lit, active and attractive. Through traffic must be maintained on 28th Street. Sidney may become parking access.



**6. Parking Facing Open Spaces:** Structured parking abutting open spaces or view corridors, such as at Sarah and Tunnel, shall be designed with building-like facades.

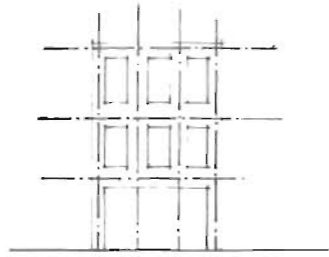


# PARKING & SERVICE

# BUILDING FORM AND SCALE

## GENERAL PRINCIPLES

- The pattern of building form, scale and articulation is intended to weave the fabric of the South Side Works development into that of the South Side.
- The overarching concept for the site is that buildings' scale and articulation evolve from the fine-grained street wall of historic district buildings, to larger bay, still urban, buildings in the West Carson District, to more free-form massing and articulation along Tunnel Park, and finally, to the Riverfront, where the building massing and articulation is light and airy, sinuous like the new Alcoa Building. Commercial and industrial buildings in the East Carson District shall be like their neighbors in the West Carson district, although it is anticipated that the articulation will be at a larger scale.
- It is anticipated that buildings along urban streets will combine to form a traditional urban streetscape, meeting the sidewalk with a constant street wall, while buildings along Tunnel Park and the Riverfront may be more free-form in massing and in their relationships to the adjacent outdoor spaces.
- A high level of detailing is anticipated throughout the development. Most buildings are visible from all sides and require attention to all visible facades.
- Building footprint may vary, but exterior articulation shall follow the guidelines below:

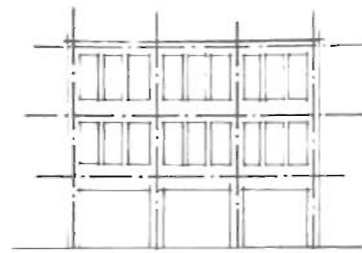


### HISTORIC DISTRICT

- Following the typical historic building, new buildings shall have a 20' width articulation, with three window bays at approximately 7'. Building footprint size may vary, but exterior articulation must maintain the 20' bay width.
- Regardless of the actual size of the building, the massing and density shall appear similar to that of historic streets.
- Window proportions shall be vertical.
- Window openings shall be punched.
- A high level of detailing and intricacy is anticipated. Buildings shall have traditional parts - bases, trim around door and window openings, cornices, parapets.
- Building height shall be 2 to 4 stories.



East Carson Street, Pittsburgh

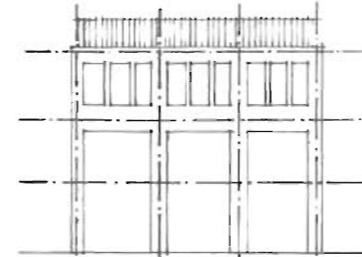


### WEST CARSON

- Overall building width may vary, but typical bay expression shall be approximately 1.5x to 2x the historic window bay, or 10' to 14'. Building scale and level of detailing shall be similar to the historic district.
- Buildings shall retain the appearance of historic district density.
- In general, articulation of the buildings shall be vertical.
- Window proportions shall be vertical.
- The majority of window openings shall be punched.
- Building height shall be 2 to 4 stories.



Codex World Headquarters, architect: Koester, Kim & Associates

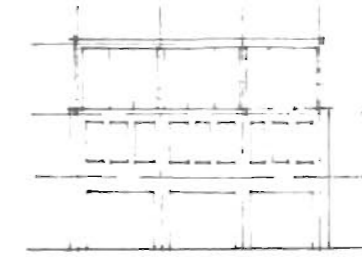


### EAST CARSON

- Overall building width may vary, but typical bay expression shall be approximately 10' to 14'.
- Bay articulation may be two story.
- Window proportions shall be vertical.
- The majority of window openings shall be punched.
- Building height shall be 2 to 4 stories.

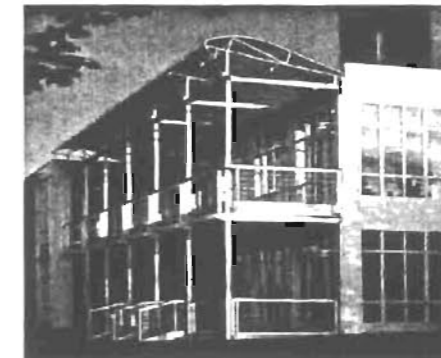


The Johns Hopkins University, architect: Ayers Saint Gross

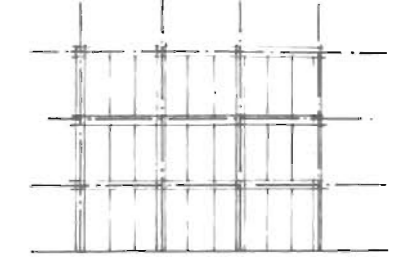


### TUNNEL PARK

- Building articulation shall maintain a bay size 10' to 14', however, building massing may be more free-form than in the Carson Street districts, as there is less need for street walls along the park.
- Building forms shall create an interaction between outdoor and indoor spaces.
- Window types are not proscribed, though bay articulation and a high level of detailing must be maintained.
- Building height shall be 2 to 4 stories, except at areas specifically designated for tall buildings. Tall buildings must conform to the maximum heights established in the zoning code for "landmark buildings".



Frehouse Civic Center, architect: Schwarz/Silver Architects

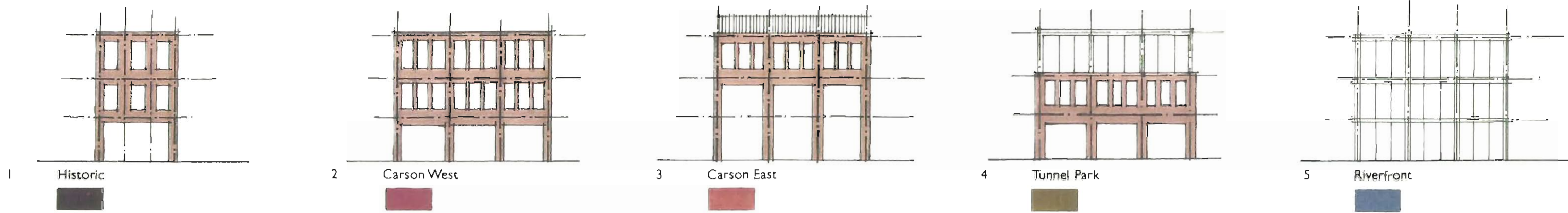
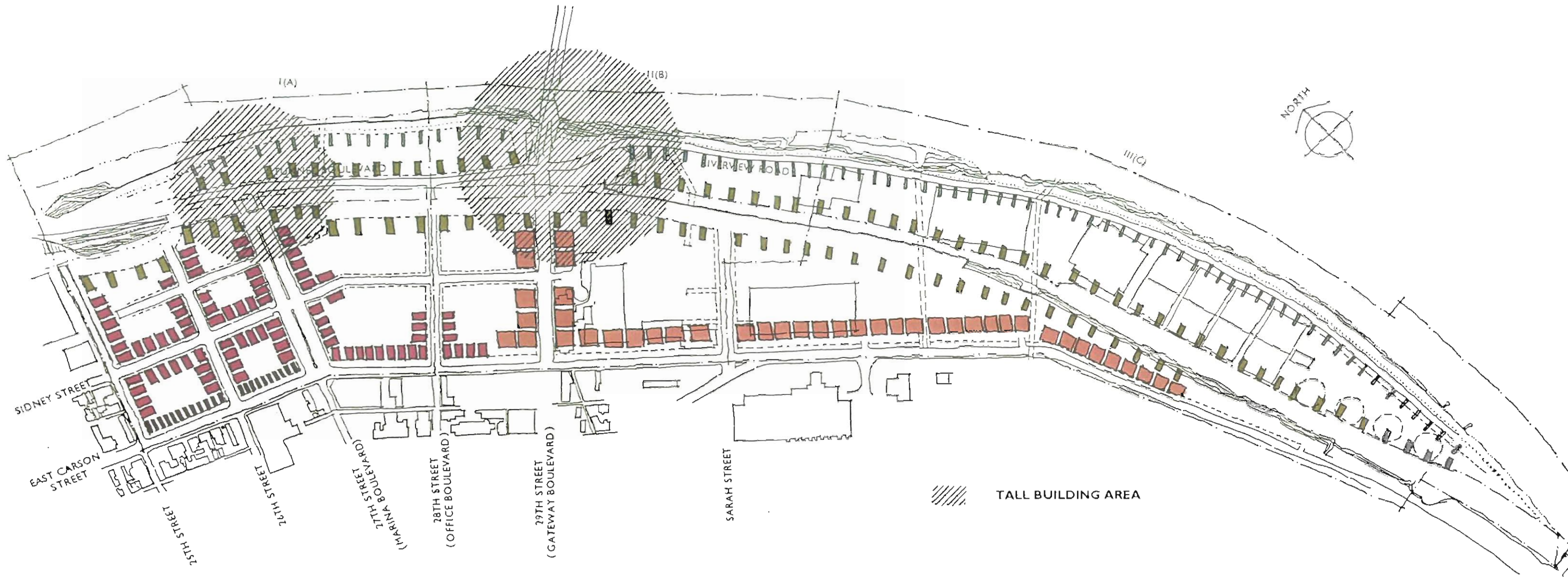


### RIVERFRONT

- Along the river, more informal building massing and articulation is encouraged.
- Massing or buildings must permit views to the river, from Tunnel Park.
- Building forms shall create an interaction between outdoor and indoor spaces and shall acknowledge Heritage Trail.
- Buildings shall be highly articulated, a light and airy manner.
- Building height shall be 2 to 4 stories, except at areas specifically designated for tall buildings. Tall buildings must conform to the maximum heights established in the zoning code for "landmark buildings".



Office Building, architect: Kidd/Posner/Sprague with Jones/Daniels/Basby

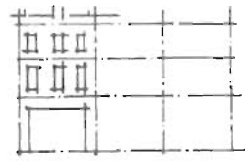


# BUILDING SCALE

## BUILDING MATERIALS

### GENERAL PRINCIPLES

- Uses of building materials are intended to weave South Side Works' buildings to its various contexts - the adjacent South Side historic district, neighborhood streets, riverfront park and, across the river, the Pittsburgh Technology Center.
- Buildings within the historic district are to meet the requirements of the Design Guidelines: East Carson Historic District, Section F: New Construction.
- Brick and a punched window vocabulary are to predominate along western and southern areas of the site, evolving to a mixed vocabulary of brick, metal and glass along Tunnel Park, evolving to a metal and glass "high-tech" vocabulary along the riverfront.
- Any parking structures visible from primary streets or open spaces shall be designed to look like other buildings in its district.
- First floors of commercial buildings shall be highly transparent.
- Roofscapes must be considered as important aspects of the building design, as they will be visible from the South Side slopes above. Roofing materials shall be selected to be visually pleasing. Arrangement of mechanical equipment shall be orderly and equipment shall be either screened or painted.
- Selection of building materials shall acknowledge the sustainable attitudes of the development.
- Use of the following materials is discouraged:
  - vinyl siding, wood roof shingles, split-faced concrete block, reflective glass, imitation stone



siding.



### CARSON EAST/WEST MASONRY DISTRICT

### HISTORIC DISTRICT

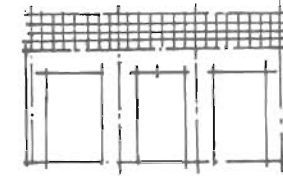
- The primary building material is varying shades of red brick.
- Secondary materials are glass; wood, precast or stone trim; ornamental metal.
- Punched openings shall be used for upper floor windows. Proportions of windows shall match those of historic buildings.
- Windows on primary facades are to be wood.
- Storefronts shall be primarily glass, and shall acknowledge the proportions and articulation of historic South Side buildings.
- It is acknowledged that all the buildings in this district are new. While these new buildings needn't mimic historical detailing, they must acknowledge the materials, level of articulation, and detailing of South Side historic buildings.



East Carson Street, Pittsburgh



East Carson Street, Pittsburgh



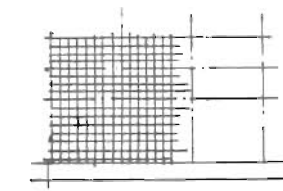
quired.

### TUNNEL PARK

- A mix of masonry, metal and glass vocabulary is intended for this district.
- First floors and storefronts shall be highly transparent. Interaction between outdoor and indoor spaces is encouraged.
- A high level of detailing is required.



Budapest, Hungary, architect unknown

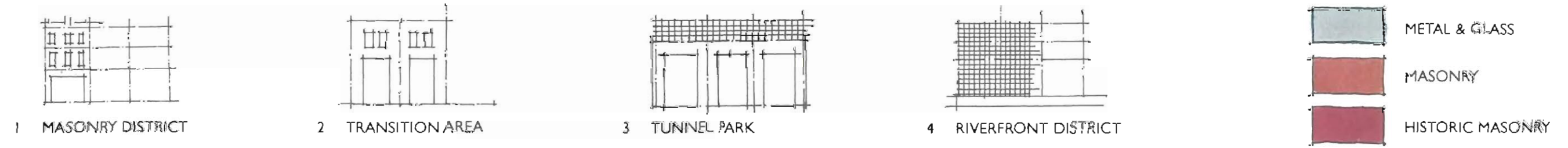


### RIVERFRONT DISTRICT

- The primary building vocabulary is metal and glass.
- Secondary materials are brick, precast and stone.
- First floors and storefronts shall be highly transparent.
- A high level of detailing is required. Interaction between outdoor and indoor spaces is encouraged. Elements which integrate the architecture of the building to the outdoors, such as trellises or canopies, are encouraged.



Finland Embassy, architect: Haldinen-Komonen



# BUILDING MATERIALS

**APPENDIX I**  
**SOUTH SIDE WORKS**  
**SIGNAGE GUIDELINES**

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## OVERVIEW

The following Signage Guidelines were developed through an extensive participation process that included property owners, tenants, community residents, neighborhood organizations, city officials and others. Through this process, five "guiding principles" were defined and include the following:

1. Involve stakeholders in a consensus-building process where solutions evolve through the identification of conflicting issues, listening and creative mitigation.
2. Maintain visual, physical and systemic continuity along the City's riverfronts while balancing the need for individual identity and uniqueness.
3. Utilize the community's existing urban fabric as a key determinant in the creation of new development and the use of technological innovations.
4. Integrate signage with all other components of the "public realm" to create quality design and urban vitality.
5. Provide a comprehensive development framework that can be implemented incrementally over time by the public, semi-public and private-sectors.

The following Signage Guidelines were prepared as Appendix One to the South Side Works Design Guidelines (adopted March 2000) and supersede the SP-5 zoning district sign regulations included in the City of Pittsburgh's Urban Zoning Code, Chapter 919. The East Carson Street Historic District Design Guidelines remain applicable to all signage construction that occurs within the designated historic district area.

In general, the Signage Guidelines regulate signs by land use, location and a particular sign's relationship and orientation to the river. The Guidelines define the purpose, content, type, quantity, size, materials and illumination of signage. The standards are subject to the final approval of the City of Pittsburgh Planning Commission.

The Signage Guidelines are organized as follows:

### Private

Retail Identification	Pages 26 - 27
Non-Retail Identification	Pages 28 - 29
Direct River	Page 30
Private Information	Page 31

### Semi-Public and Public

South Side & Public Information	Page 32
Safety & Riverfront	Page 33

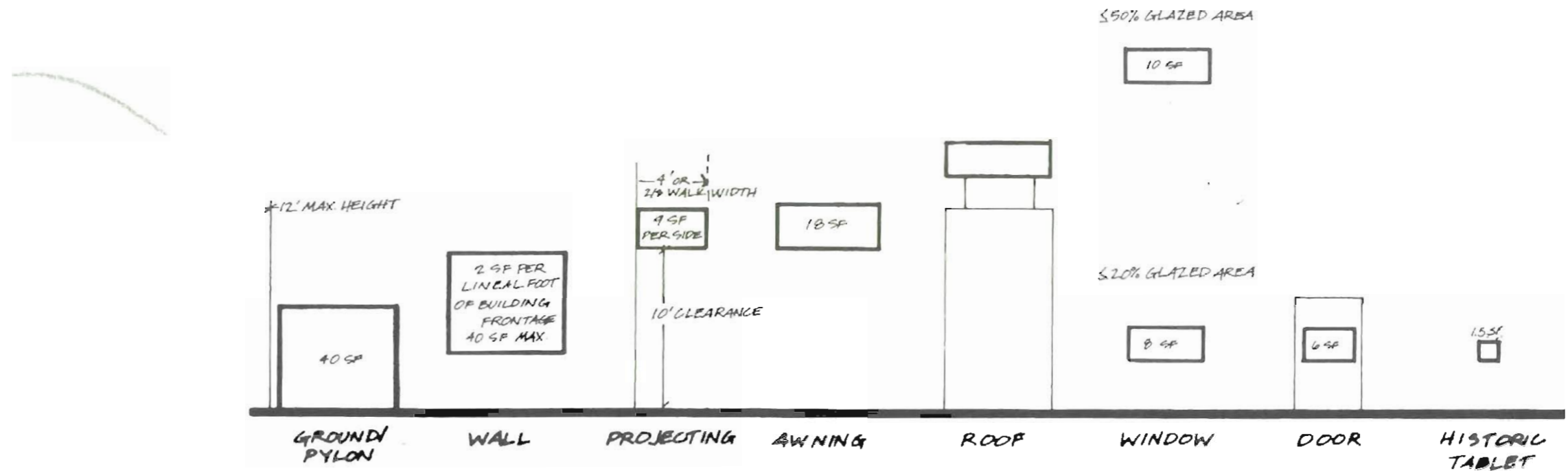
### Definitions

Existing Urban Zoning Code References	Page 34
Supplemental Definitions	Pages 35 - 36

## RETAIL IDENTIFICATION

BUSINESS NAME  
BUILDING NAME  
ADDRESS  
OWNER  
LOGO

NO SIGNAGE VISIBLE FROM THE RIVER SHALL PARALLEL THE RIVER.  
ALL SIGNAGE SHALL BE FOR THE LOT'S PRIMARY USE.



<b>MAXIMUM QUANTITY</b>	<b>PER STREET</b>	STREET LEVEL	1 GROUND AND 1 PROJECTING OR 1 GROUND AND 1 AWNING OR 1 WALL AND 1 PROJECTING OR 1 WALL AND 1 AWNING	X	2	1	1 PER STREET FACADE BUILDING DIRECTORY NOT PERMITTED
		UPPER LEVEL	X	1 PROJECTING OR 1 AWNING	X	2	X
<b>MATERIALS</b>			SIGN FACE AND STRUCTURE SHALL BE COMPATIBLE WITH ARCHITECTURAL MATERIALS	X			

NOTE: THESE GUIDELINES, EXCEPT FOR MATERIAL REQUIREMENTS, ARE APPLICABLE TO TEMPORARY SIGNAGE AS RELATED TO BUILDING/FACILITY/SITE CONSTRUCTION.

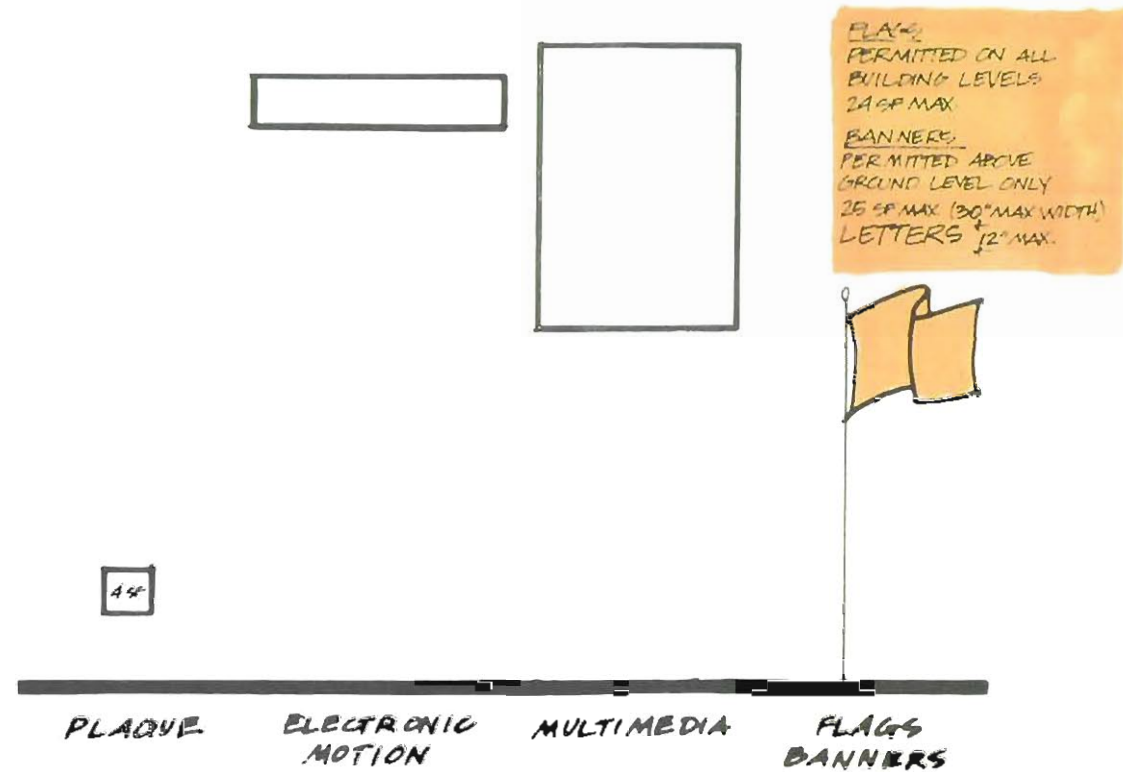
 TECHNICAL REFINEMENTS OF EXISTING REGULATIONS

# RETAIL IDENTIFICATION

# SOUTH SIDE WORKS SIGNAGE GUIDELINES

**RETAIL IDENTIFICATION**  
 BUSINESS NAME  
 BUILDING NAME  
 ADDRESS  
 OWNER  
 LOGO

NO SIGNAGE VISIBLE FROM THE RIVER SHALL PARALLEL THE RIVER.  
 ALL SIGNAGE SHALL BE FOR THE ZONING LOT'S PRIMARY USE.



**PLAQUE**  
 PERMITTED ON ALL BUILDING LEVELS  
 24 SF MAX.

**BANNERS**  
 PERMITTED ABOVE GROUND LEVEL ONLY  
 25 SF MAX (30" MAX WIDTH)  
 LETTERS 12" MAX.

MAXIMUM QUANTITY	PER STREET	STREET LEVEL	ELECTRONIC MOTION	MULTIMEDIA	FLAGS BANNERS
		UPPER LEVEL			
		1 PER BUILDING			3 PER BUILDING (NON-ADVERTISING) BUILDING NAME BUSINESS NAME OWNER, LOGO, CITY, STATE AND FEDERAL
MATERIALS					

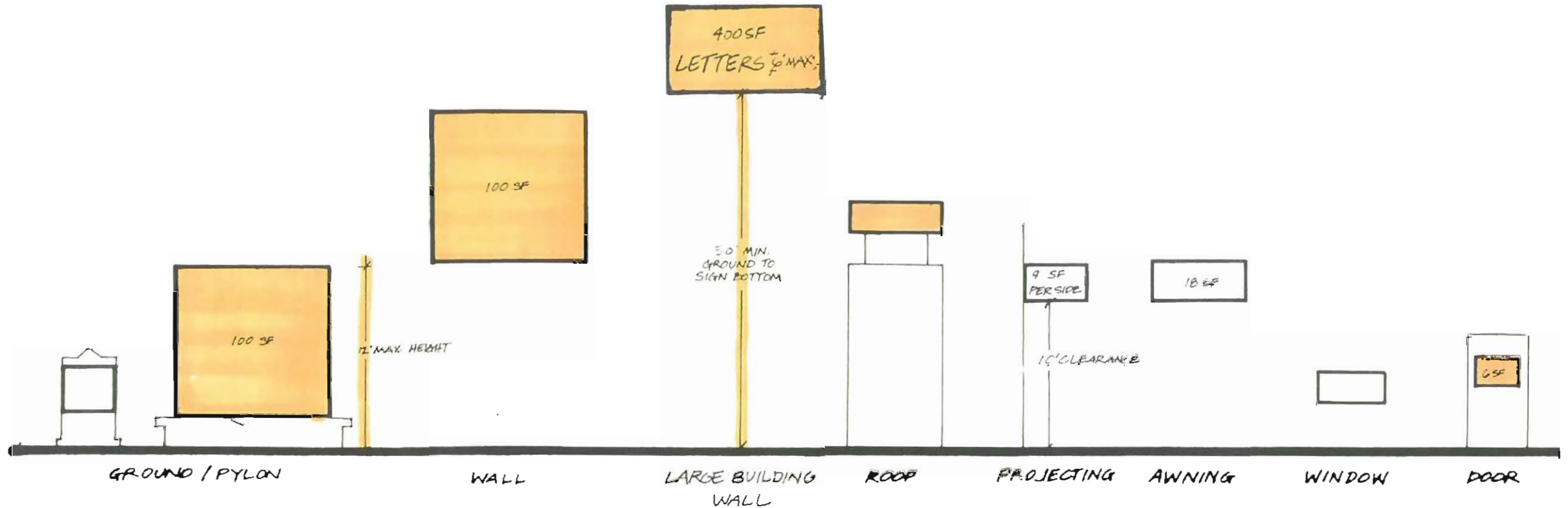
 TECHNICAL REFINEMENTS OF EXISTING REGULATIONS

**RETAIL IDENTIFICATION**

## NON-RETAIL IDENTIFICATION

BUSINESS NAME  
BUILDING NAME  
ADDRESS  
OWNER  
LOGO

NO SIGNAGE VISIBLE FROM THE RIVER SHALL PARALLEL THE RIVER.  
ALL SIGNAGE SHALL BE FOR THE LOT'S PRIMARY USE.  
SIGNAGE FOR GROUND LEVEL RETAIL IN NON-RETAIL USE/STRUCTURES SHALL BE AS PER RETAIL GUIDELINES.



<b>MAXIMUM QUANTITY</b>	1 PER STREET (WHEN PARCEL IS IMMEDIATELY ADJACENT TO PUBLIC ROW OR PRIVATE ROAD WITH PUBLIC RIGHT OF PASSAGE)	1 PER BUILDING (NON-ADVERTISING) REQUIRES APPROVAL BY PITTSBURGH PLANNING COMMISSION	X	1 PER STREET FACADE	X	1 PER DOOR
<b>MATERIALS</b>	SIGN FACE AND STRUCTURE SHALL BE COMPATIBLE WITH ARCHITECTURAL MATERIALS		X	SHALL BE COMPATIBLE WITH ARCH. MATERIALS	CANVAS	X

NOTE: THESE GUIDELINES, EXCEPT FOR MATERIAL REQUIREMENTS, ARE APPLICABLE TO TEMPORARY SIGNAGE AS RELATED TO BUILDING/FACILITY/SITE CONSTRUCTION.

 TECHNICAL REFINEMENTS OF EXISTING REGULATIONS

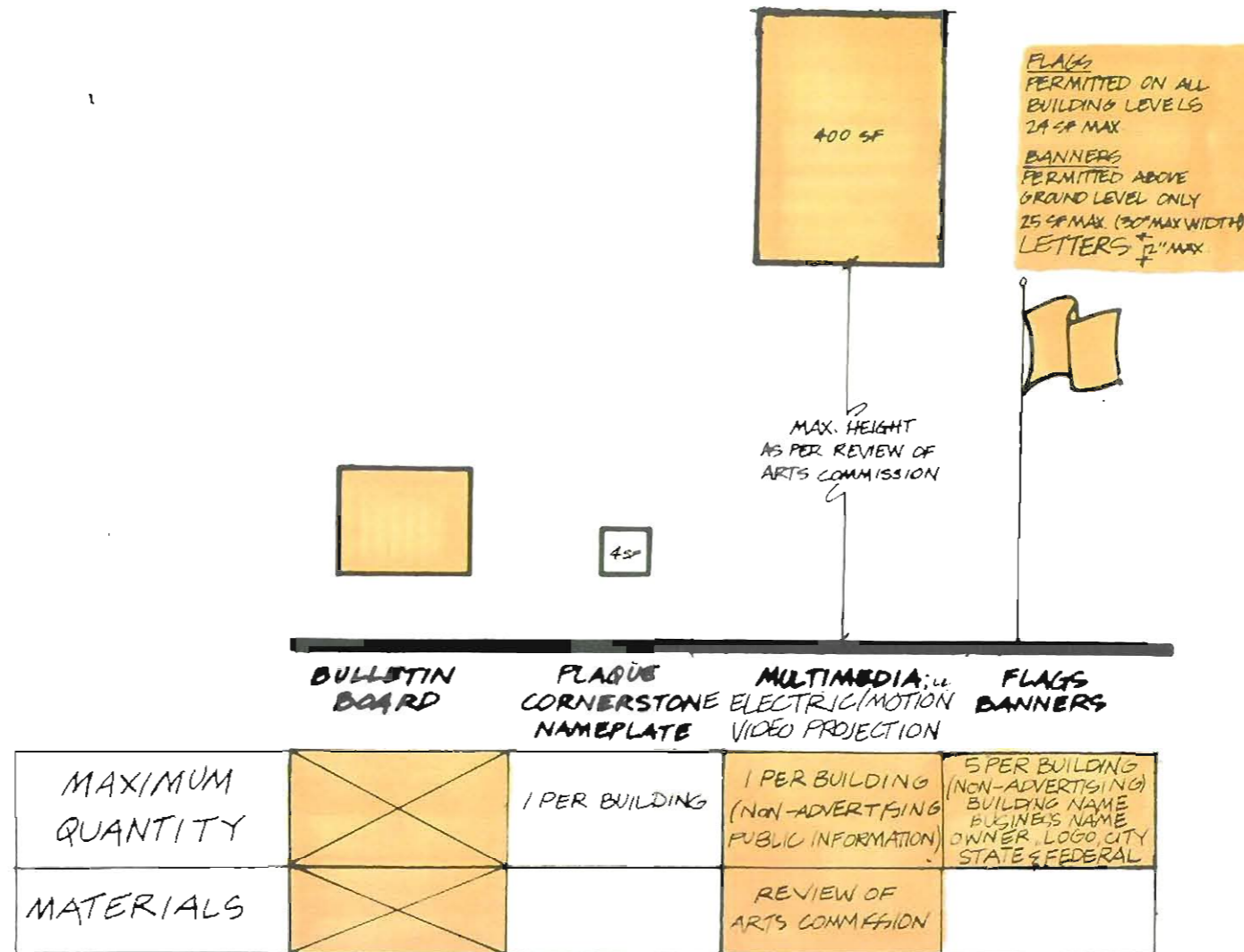
# NON-RETAIL IDENTIFICATION

# SOUTH SIDE WORKS SIGNAGE GUIDELINES

# NON-RETAIL IDENTIFICATION

BUSINESS NAME  
BUILDING NAME  
ADDRESS  
OWNER  
LOGO

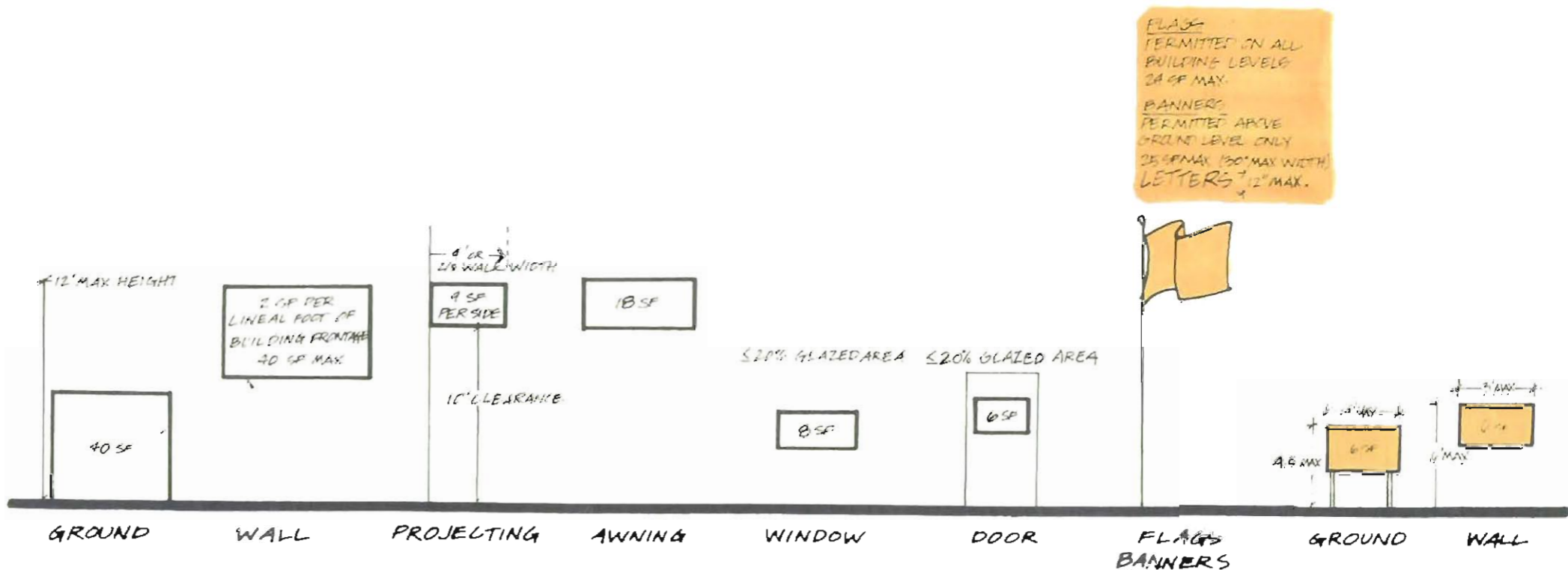
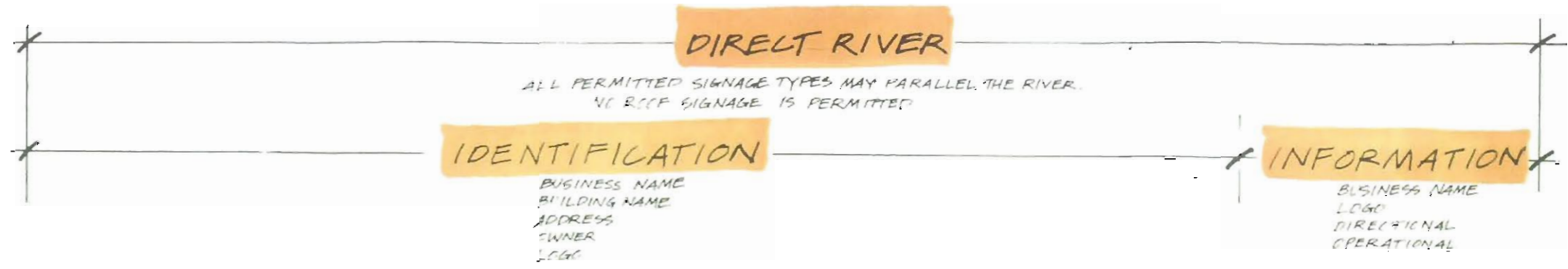
NO SIGNAGE VISIBLE FROM THE RIVER SHALL PARALLEL THE RIVER.  
ALL SIGNAGE SHALL BE FOR THE LOT'S PRIMARY USE.  
SIGNAGE FOR GROUND LEVEL RETAIL IN NON-RETAIL  
USES/STRUCTURE SHALL BE AS PER RETAIL GUIDELINES.



FLAGS  
PERMITTED ON ALL  
BUILDING LEVELS  
24 SF MAX  
BANNERS  
PERMITTED ABOVE  
GROUND LEVEL ONLY  
25 SF MAX (30" MAX WIDTH)  
LETTERS 1/2" MAX

TECHNICAL REFINEMENTS OF EXISTING REGULATIONS

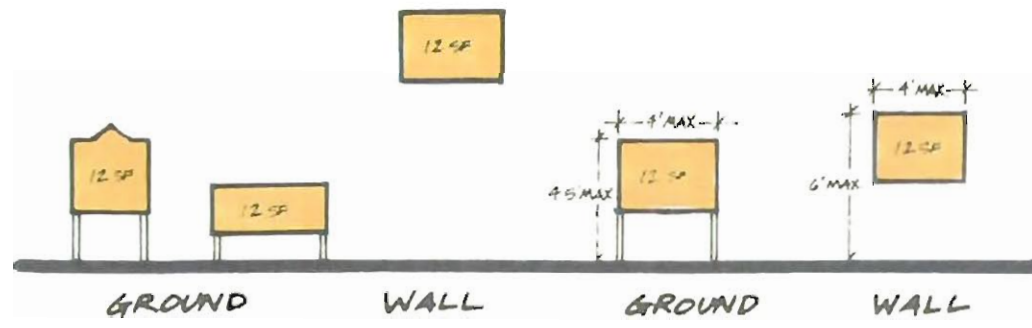
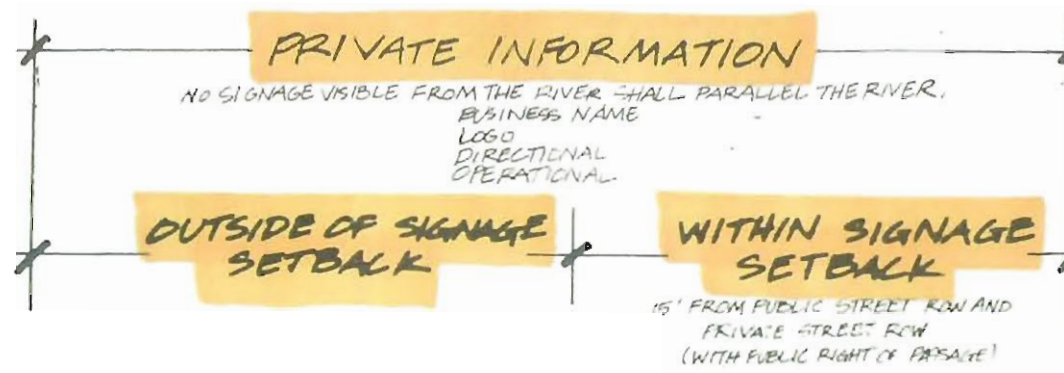
# NON - RETAIL IDENTIFICATION



<b>MAXIMUM QUANTITY</b>	1 GROUND OR 1 WALL OR 1 PROJECTING OR 1 AWNING	1 PER BUSINESS	1 PER DOOR	3 PER BUILDING (NON-ADVERTISING) BUILDING NAME BUSINESS NAME OWNER, LOGO, CITY STATE, FEDERAL	1 GROUND OR 1 WALL PER SERVICE AREA (i.e. UTILITY, MAIL DROP, DUMPSTER), VEHICULAR AND PEDESTRIAN ENTRANCE
<b>MATERIALS</b>	SIGN FACE AND STRUCTURE SHALL BE COMPATIBLE WITH ARCHITECTURAL MATERIALS				SIGN FACE AND STRUCTURE SHALL BE COMPATIBLE WITH ARCHITECTURAL MATERIALS

**NOTE** THESE GUIDELINES, EXCEPT FOR MATERIAL REQUIREMENTS, ARE APPLICABLE TO TEMPORARY SIGNAGE AS RELATED TO BUILDING/FACILITY/SITE CONSTRUCTION.

TECHNICAL REFINEMENTS OF EXISTING REGULATIONS

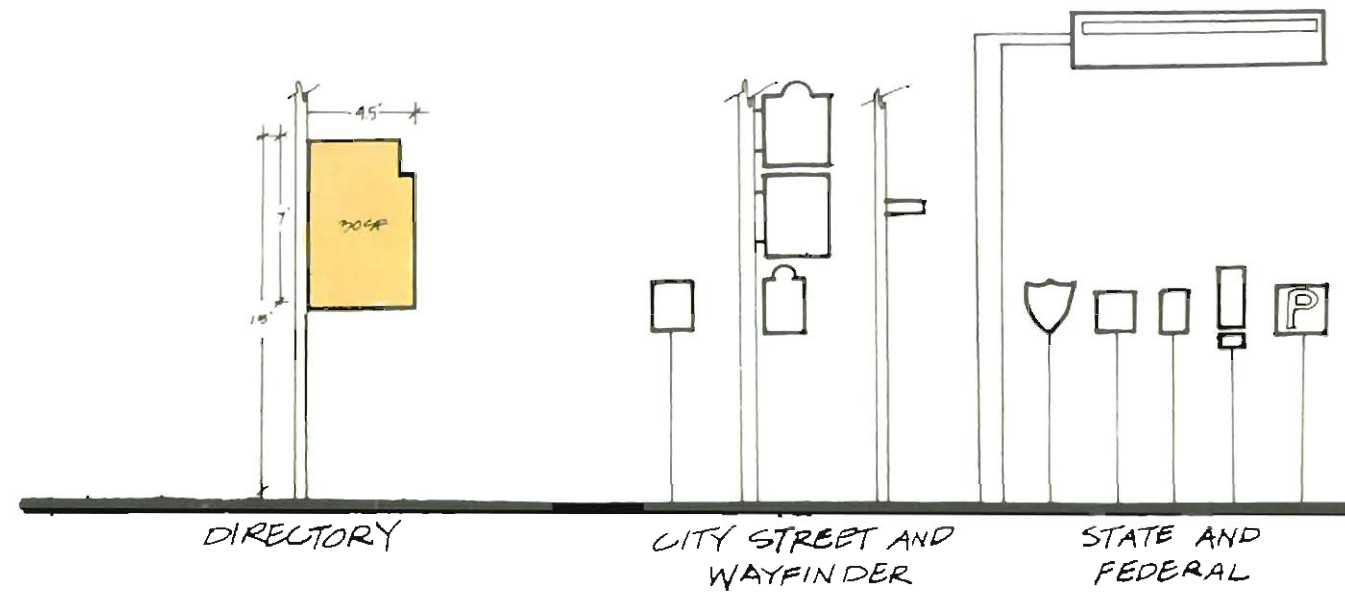
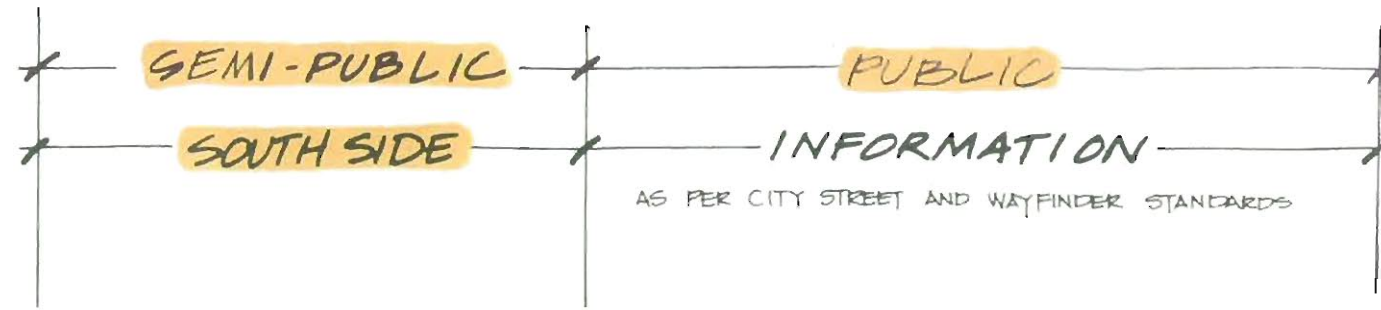


<b>MAXIMUM QUANTITY</b>	NO REQUIREMENTS	1 PER CURB CUT
<b>MATERIALS</b>	SHALL BE COMPATIBLE WITH IDENTIFICATION SIGN AND ARCHITECTURAL MATERIALS	SHALL BE COMPATIBLE WITH IDENTIFICATION SIGN AND ARCHITECTURAL MATERIALS

NOTE THESE GUIDELINES, EXCEPT FOR MATERIAL REQUIREMENTS, ARE APPLICABLE TO TEMPORARY SIGNAGE AS RELATED TO BUILDING/FACILITY/SITE CONSTRUCTION.

 TECHNICAL REFINEMENTS OF EXISTING REGULATIONS

# PRIVATE INFORMATION

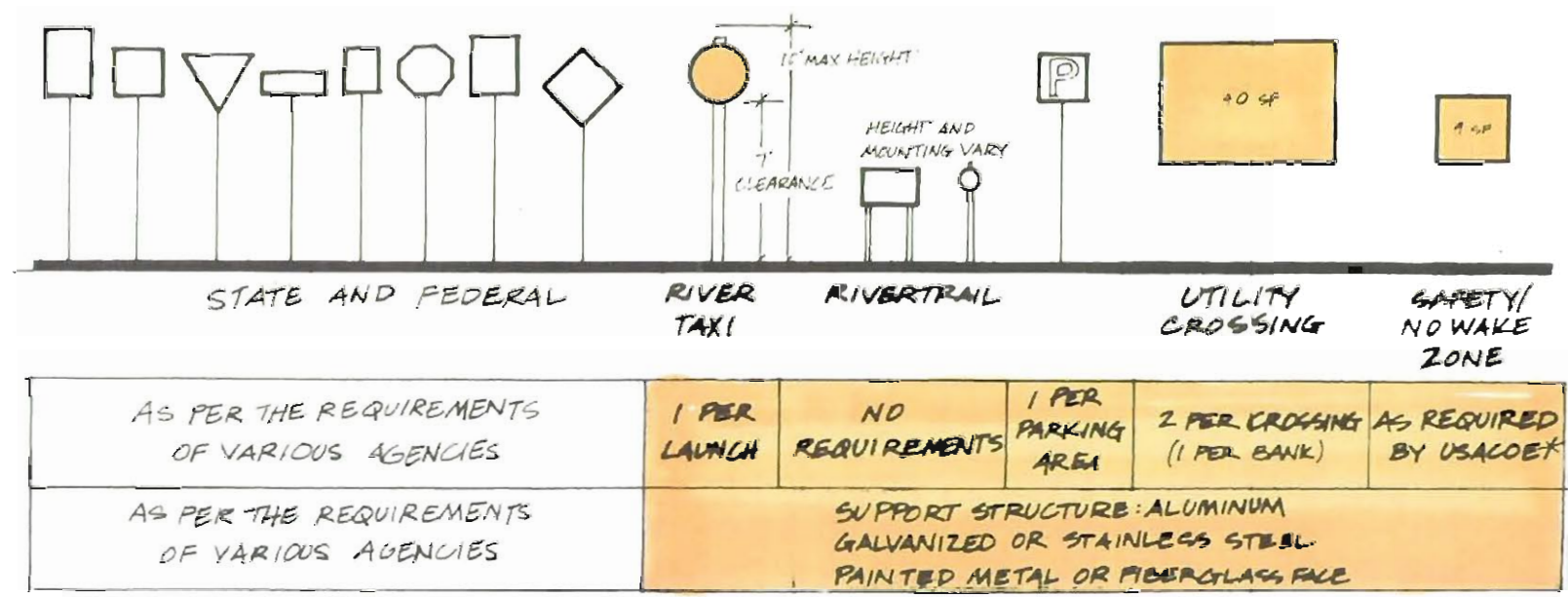
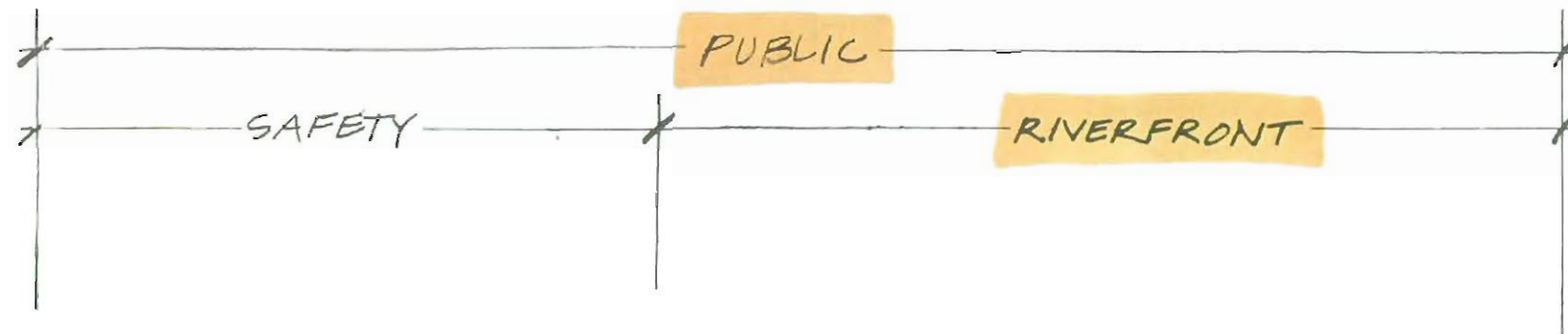


MAXIMUM QUANTITY	TO BE DETERMINED; REQUIRES APPROVAL BY SOUTH SIDE DESIGN COMMITTEE AND PITTSBURGH PLANNING COMMISSION	AS PER THE REQUIREMENTS OF VARIOUS AGENCIES
MATERIALS	TO BE DETERMINED; REQUIRES APPROVAL BY SOUTH SIDE DESIGN COMMITTEE AND PITTSBURGH PLANNING COMMISSION	AS PER THE REQUIREMENTS OF VARIOUS AGENCIES

 TECHNICAL REFINEMENTS OF EXISTING REGULATIONS

## SOUTH SIDE & PUBLIC INFORMATION

## SOUTH SIDE WORKS SIGNAGE GUIDELINES



XUSACOE-UNITED STATES ARMY CORPS OF ENGINEERS

 TECHNICAL REFINEMENTS OF EXISTING REGULATIONS

# SAFETY & RIVERFRONT

## EXISTING URBAN ZONING REFERENCES

1. **Area of Sign** - See Chapter 919.
2. **Building** - See Chapter 926.
3. **Building Principle Use** - See Chapter 926.
4. **Cornerstones, Nameplates and Plaques** - See Chapter 919.
5. **Flag** - See Chapter 919.
6. **Ground Level** - See Chapter 926.
7. **Ground Sign** - See Chapter 919.
8. **Height, Structure** - See Chapter 926.
9. **Historic Tablet** - See Chapter 919.
10. **Lot** - See Chapter 926.
11. **Planning Commission** - See Chapter 926.
12. **Primary Use** - See Chapter 926.
13. **Projecting Sign** - See Chapter 919.
14. **Public Information Sign** - See Chapter 919.
15. **Public Realm** - See Chapter 926.
16. **Restaurant** - See Chapter 926.
17. **Right-of-Way** - See Chapter 926.
18. **Sign** - See Chapter 919.
19. **Sign Face (Face of Sign)** - See Chapter 919.
20. **Street** - See Chapter 926.
21. **Use** - See Chapter 926.

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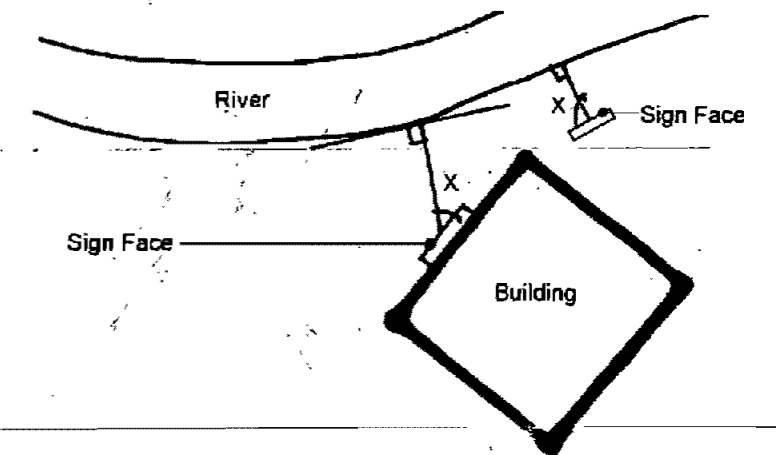
## EXISTING URBAN ZONING CODE REFERENCES

## SOUTH SIDE WORKS SIGNAGE GUIDELINES

## SUPPLEMENTAL DEFINITIONS

1. **Advertising** - the promotion of a product, service or event that is available for public use or consumption through visible and/or audible means.
2. **Arts Commission** - a citizen board appointed by elected officials to review public works of arts and other related designs.
3. **Awning** - any rigid sloping and triangular frame, with canvas or canvas-like material and no internal illumination, which is attached to and projecting from a building.
4. **Banner** - a cloth pennant or streamer suspended from a building or structure that provides decoration and/or identifies non-advertising information such as a business name, business address, business owner, business logo and/or building name.
5. **Compatible** - harmony in appearance of two or more external design elements or features.
6. **Directory** - a sign listing the location of activities, businesses, tenants or occupants of a particular building or group of buildings.
7. **Direct River** - a lot which abuts one of the following locations:
  - a) a river;
  - b) a public open space abutting a river; or
  - c) a public right-of-way abutting a river.
8. **Door Sign** - a sign on any surface utilized for building, structure or facility ingress and/or egress.
9. **Electronic Motion Sign** - a sign with changing text or graphics generated by electronic components.
10. **Identification Sign** - a non-advertising sign that identifies a business name, business address, business owner, business logo and/or building name.
11. **Information Sign** - a non-advertising sign that conveys directional, operational, business name or logo information to vehicles and pedestrians as related to access or circulation.
12. **Large Building Wall Sign** - a sign located on a building or structure greater than or equal to fifty (50') feet in height.
13. **Launch** - an appurtenance utilized for loading, parking or removing boats from the river.
14. **Materials** - architectural and structural components or elements utilized for the construction, support or depiction of signage.
15. **Multi-Media Display** - a non-advertising exhibit that utilizes light, electronic components or video projection technology to identify a business name, business logo, public information and/or public works of art.
16. **Non-Retail** - a business or establishment that does not partake in retail activities.
17. **Open Space Area** - the part or portion of a lot which is not occupied by any principal or accessory buildings or structures, private driveways, off street parking and/or loading areas, or structures of any kind except permitted fences, easements and right-of-ways.
18. **Parallel to the River** - The geometric relationship between a sign face and a river's normal pool water line. The geometric relationship of a sign face shall be calculated by:
  - a) extending a line at a right angle from a point on the river's mean normal pool water line to the center point of a sign face.
  - b) measuring the angle between the plane of the sign face and the perpendicular line from the river.
  - c) if the measured angle is between 10 degrees and 90 degrees, the sign face shall be considered parallel to the river.

Figure 1: Parallel to the River Calculation



19. **Private** - a space, activity or establishment that provides a use or service that is not available for the general public's use, participation and/or benefit.
20. **Public** - a space, activity or establishment that provides a use or service that is available for the general public's use, participation and/or benefit.
21. **Public Use** - goods, activities or services that are available for the use and benefit of the public and which are provided by either the public- or private-sectors.
22. **Public Right of Passage** - a public easement that provides vehicular and pedestrian access across private property.
23. **Pylon** - a ground sign over thirteen (13') in height and whose vertical dimension is greater than its horizontal dimension.
24. **Retail** - a business or establishment that provides small quantities of goods and/or services directly to consumers for use or consumption and not for resale.
25. **Roof Sign** - a sign that is mounted on the roof of a building and which projects above the point of a building with a flat roof, the eave line of a building with a gambrel, gable or hip roof or the deck line of a building with a mansard roof.

## SUPPLEMENTAL DEFINITIONS

26. **Semi-Public** – an independent, non-religious, not-for-profit community organization that is supported in part through public monies and provides goods, services, activities or information for the use and benefit of the general public.
27. **Service Area** - a facility utilized for delivery, loading, maintenance and operational purposes or activities.
28. **Sign/Support Structure** - an appurtenance, on which any sign type is mounted, hoisted or displayed.
29. **Signage Setback** - a "public realm" transition area extending 15' from a public right-of-way or public right of passage towards the interior of a lot as measured at a right angle from the public right-of-way or public right of passage.
30. **South Side Design Committee** - a community-based resident committee appointed and supported by the South Side Local Development Company.
31. **Temporary Sign** - non-permanent signage that is erected for lot-specific development/ redevelopment activities and is removed when the development/ redevelopment activities cease or a maximum of 18 months following receipt of sign permits, whichever comes first.
32. **Wall Sign** - any sign painted, attached to or erected against the wall of a building with the exposed face of the sign in a plane parallel to the plane of the wall so that only one side is visible.
33. **Window Sign** - a sign fastened to or painted on the outside of a building and erected parallel to the face of a building and supported throughout its length by such building.

## SUPPLEMENTAL DEFINITIONS

## SOUTH SIDE WORKS SIGNAGE GUIDELINES