

ELIZA STREET APARTMENTS

Planning Commission
9.9.2025



PROJECT TEAM

Module Design, Inc.
Owner/Developer

Tishman Speyer
Master Developer, Block 36



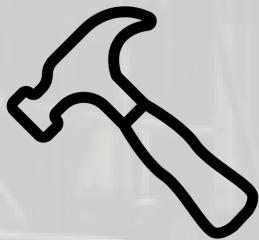
Module’s mission is to create a 21st-century residential development ecosystem that delivers better-designed, quality-built, energy-efficient, attainable housing, all through the power of offsite construction.

Based in Pittsburgh, PA, Module is a vertically integrated modular housing company with a manufacturing facility, a design & engineering arm, and a construction arm. Module is leading a culture shift in the industry, fueling innovation while creating a more equitable and inclusive way to build new housing.

- January 2016: Module founded
- May 2024: Last Mile Facility, Module’s 22,000 square foot factory, opens in Carnegie
- Projected: Eliza Street Housing project to break ground



Pittsburgh Manufacturing Facility



Locally Owned & Operated

Provide living wage and provide onramps into the trades for youth.



Partner with Non-Profits

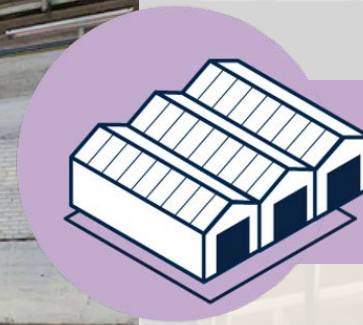
Our Factory provides in-kind design and engineering services via our “Mission-Driven Developer Program”



Focus on Equity

Fostering a culture where women & people of color thrive.





Workforce Development

Carpentry Training @ Trade Institute

Partner with TIP for 6 week carpentry program, including hybrid training on Module job sites.

On the Job Training Program @ Module

6 months of paid, on the job training at our factory with an opportunity for full-time employment.



**TRADE INSTITUTE
OF PITTSBURGH**

HAZELWOOD GREEN

178-acre site along the Monongahela River, south of the Hot Metal Bridge, in Greater Hazelwood Neighborhood of Pittsburgh

- 2002: Almono LLC acquired site in 2002
- Before 2018, two developments plans and one PLDP (2013) were adopted
- 2018: New PLDP approved

4 Principles:

1. Advance Human Well-being
2. Inspire Innovation
3. Regenerate the Ecology
4. Create Resilient Places

Registered Community Organization: Hazelwood Initiative

Special Planning District SP-10
Preliminary Land Development Plan (December 6, 2024)

Sustainability:

- LEED for Neighborhood Development across District
- Project designed to LEED Gold standard (LEED for Homes v4)
- Conformance with Pittsburgh p4 Performance Measures as outlined in PLDP

FIGURE 4-1 Hazelwood Green’s Development Blocks & Shared Ways

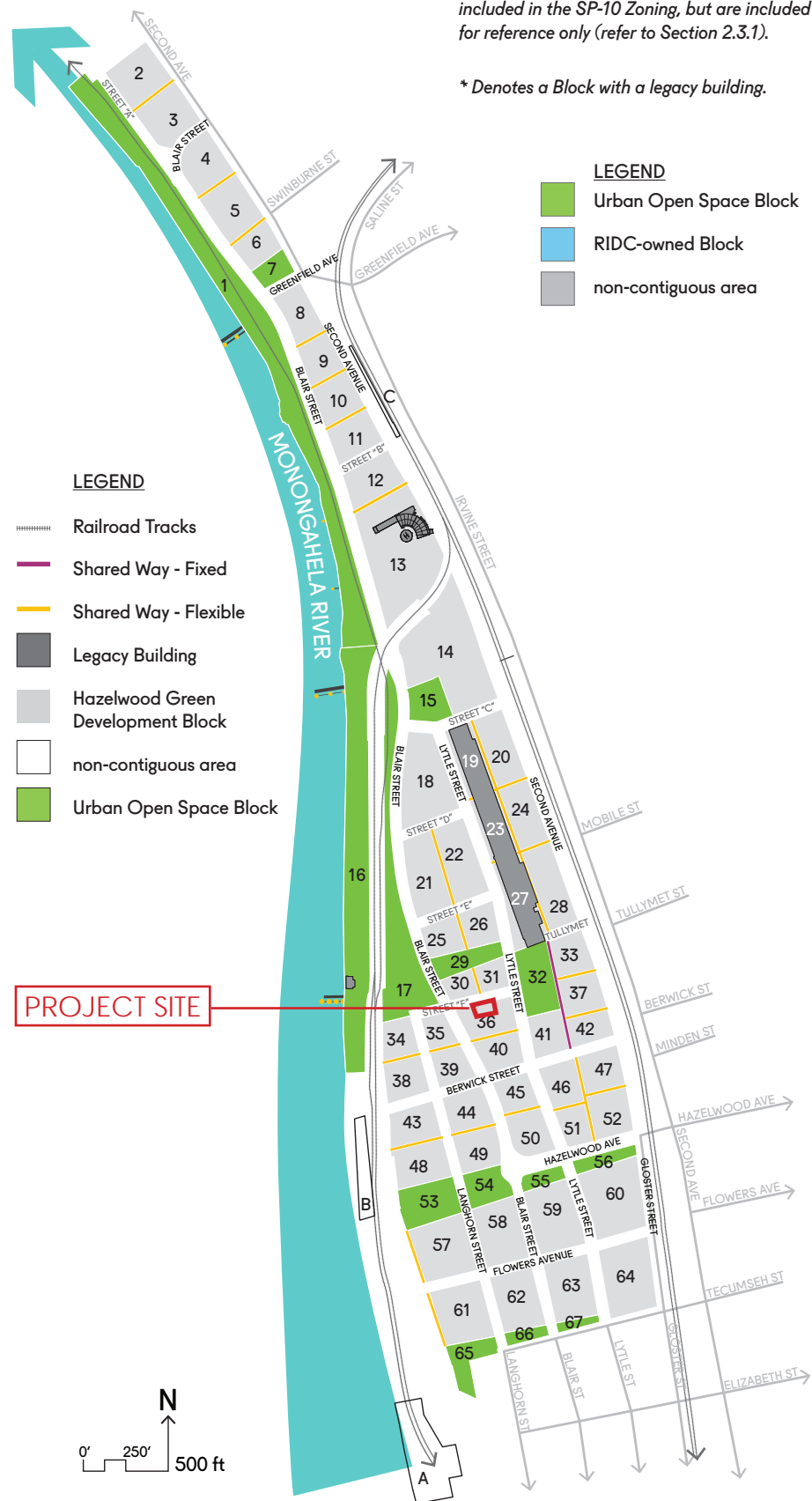


FIGURE 4-2 Development Block Areas & District

Note, the acres and square feet refer to the Block land area, not building area. Additionally, areas A, B, and C are not considered Development Blocks and are not included in the SP-10 Zoning, but are included for reference only (refer to Section 2.3.1).

* Denotes a Block with a legacy building.

LEGEND

- Urban Open Space Block
- RIDC-owned Block
- non-contiguous area

BLOCK	ACRES	SQ FEET	DISTRICT
1	9.86	429,600	RIVER
2	2.01	87,605	RIVER
3	2.06	89,568	RIVER
4	1.77	77,193	RIVER
5	2.05	89,498	RIVER
6	1.17	51,070	RIVER
7	0.72	31,431	RIVER
8	1.42	61,782	RIVER
9	1.29	56,355	RIVER
10	1.50	65,497	RIVER
11	1.52	66,141	RIVER
12	1.76	76,798	RIVER
13*	6.25	272,308	RIVER
14	5.88	256,135	MILL
15	1.21	52,635	MILL
16*	4.45	193,662	MILL
17	5.04	219,536	MILL
18	3.22	140,444	MILL
19*	1.92	83,494	MILL
20	2.08	90,758	MILL
21	2.38	103,523	MILL
22	2.31	100,583	MILL
23*	1.49	65,075	MILL
24	1.61	69,935	MILL
25	1.11	48,456	MILL
26	1.17	51,169	MILL
27*	2.44	106,231	MILL
28	2.22	96,582	MILL
29	1.13	49,403	MILL
30	0.68	29,476	MILL
31	0.75	32,560	MILL
32	1.95	85,063	MILL
33	1.31	57,197	MILL
34	1.08	46,996	FLATS
35	0.78	34,165	FLATS
36	1.51	65,724	MILL
37	1.41	61,293	MILL
38	1.36	59,311	FLATS
39	1.09	47,457	FLATS
40	1.23	53,770	MILL
41	1.25	54,341	MILL
42	1.09	47,614	MILL
43	1.48	64,302	FLATS
44	1.43	62,180	FLATS
45	1.07	46,772	MILL
46	1.40	60,842	MILL
47	1.39	60,361	MILL
48	1.81	78,847	FLATS
49	1.46	63,797	FLATS
50	1.45	63,135	MILL
51	1.03	44,948	MILL
52	1.52	66,426	MILL
53	1.89	82,381	FLATS
54	1.19	51,953	FLATS
55	0.54	23,696	FLATS
56	0.67	28,997	FLATS
57	2.94	127,892	FLATS
58	2.40	104,420	FLATS
59	2.65	115,288	FLATS
60	3.26	141,965	FLATS
61	2.22	96,648	FLATS
62	1.98	86,088	FLATS
63	2.24	97,789	FLATS
64	2.89	125,715	FLATS
65	1.21	52,662	FLATS
66	0.43	18,816	FLATS
67	0.31	13,319	FLATS
A	2.94	128,152	NA
B	1.05	45,920	NA
C	0.27	11,632	NA

NEIGHBORHOOD CONTEXT



BIOFORGE
University of Pittsburgh
projected complete Fall 2025



PROJECT SITE
Block 36



ELIZA COMMONS
Trek Development
groundbreaking 2026



HAZELWOOD GREEN
District
Aerial from South



MILL 19
RIDC - technology and research tenants
completed 2019-2022



ROBOTICS INNOVATION CENTER
Carnegie Mellon University
projected complete Fall 2025



COMMUNITY FIELD
Pittsburgh Steelers
pre-construction planning

SITE ANALYSIS



SITE
LOTS TO BE SUBDIVIDED /
CONSOLIDATED

ELIZA STREET

BLAIR STREET

BLOCK 36

PLANNED
PRIVATE WAY

LYTLE STREET

HAZELWOOD
GREEN PARK

COMPOSITE STREET

TULLYMET STREET

HAZELWOOD TRAIL

IRVINE STREET

HAZELWOOD AVENUE

MONONGAHELA RIVER

MILL
19



ADJACENT SITE
DEVELOPMENT
BY TREK

FOR REFERENCE ONLY - REF
PROJECT SITE PLAN FOR
ACCURATE INFORMATION

LOT LINE OF
PROPOSED PROJECT

FUTURE DEV.
17,569 SF

FUTURE DEV.
19,390 SF

HG1 LYTLE
27,958 SF

PLAZA PARK

BUILDING SETBACK KEY

- INDICATES BUILD-TO
ZONE OF SITE. 90% OF
BUILDING FRONTAGE
MUST BE IN THE BUILD-TO
ZONE

UTILITY CONNECTION KEY

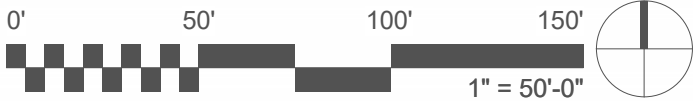
- PROPOSED STORM CONNECTION
- PROPOSED SANITARY CONNECTION
- PROPOSED WATER LINE CONNECTION
- PROPOSED ELECTRIC CONNECTION
- PROPOSED TELECOM CONNECTION
- PROPERTY LINES

PARKING 1
5,272 SF

PARKING 2
3,088 SF

PARKING 3
3,213 SF

HAZELWOOD GREEN
MULTI-FAMILY HOUSING



Site Plan

PLANNING COMMISSION

Site Plan Review Criteria

Project to meet all applicable provisions of Zoning Code and Preliminary Land Development plan.

Additional criteria for Site Plan Review are as follows, as applied by Zoning Administrator, according to 922.04.E.4:

a. Use, Scope, and Intensity. When determined by the Zoning Administrator, the applicant shall provide sketches, exhibits, and other materials to illustrate and quantify the character and site-related impacts of the proposed development.

b. Site Design. Layout design should be guided by such factors as the topography of the site, privacy, building height, orientation, daylight needs, drainage, and views.

c. Building Design. The Zoning Administrator will consider the following guidelines when reviewing building design: harmony of design, creativity and diversity of design, massing, orientation, scale, and materials.

d. Landscape Plan. The landscape design should recognize and make use of the various functions served by landscaping: aesthetic function, architectural function, engineering function, and climatological function.

e. Transportation Analysis. *No TDM has been requested. Project is one third of a master development of Block 36, and 2 points toward the LEED Transportation Demand Management will be documented as achievable.*

MEETING HISTORY

Zoning and Community Meeting History

Application # BDA-2025-01706

Zoning Approvals

- March 28, 2025: Zoning Pre-application Meeting
- April 8, 2025: Community Meeting #1, Hazelwood Initiative
- May 13, 2025: Development Activities Meeting
- May 23, 2025: Building Development Application Submittal: BDA-2025-01706, Review Begins
- June 24, 2025: Contextual Design Advisory Panel

Variance: Section 909.01.Q.5.F.i: 14' minimum ground floor height; 13'-6" ground floor height proposed

- July 10, 2025: Hearing, Zoning Board of Appeals
- July 17, 2025: ZBA Decision Variance GRANTED

CONTEXTUAL DESIGN ADVISORY PANEL

- Panel Presentation and Review: June 24, 2025
- City Planning Report: Received July 10, 2025

The Panel commented favorably towards the following:

- *The rowhouse-type massing is unique and makes this project stand out.*
- *The materiality of the parking lot elevation is creative and engaging.*
- *The courtyard area brings an increased sense of community to the project.*

The Panel expressed concerns regarding the following items:

- *Consider alternatives to the horizontal siding. A recommendation of vertical siding to simplify the facade was suggested as a design alternative.*
- *Consider a deeper cap or a different material application to strengthen the top of the building.*
- *Consider seating and offset walking paths in the courtyard space for further activation.*

Concerns brought up by individual panelists include:

- *Consider ornamental grasses in the courtyard that are more shade resistant.*
- *Consider projecting the angled canopy beyond the edge of the building for a more refined design. (Staff note: coordinate possible encroachment with DOMI)*
- *Consider the appearance of the west facade if there will be a gap in time between this phase of the development and future phases.*

The project team addressed the concerns raised at CDAP as follows:

- The panel commented that variation of horizontal and vertical siding created a rythm and scale that did not fit the heirarchy of the design scheme. The siding directionality now varies with entire unit stacks, and spans of wall 16’ -20’ in width.
- The project team studied numerous cornice/cap designs for the top of the building. Overhanging cornices broke with the modern response to industrial architecture in this part of the design. Instead, the negative-line recess of the trim between bays was reinforced, and carried to the top of the parapet as a recessed cornice line.
- The courtyard design includes an offset walking path, and benches for seating, in scale with the size and occupancy of this exterior space.
- Shade-tolerants and drought-resistant grasses have been selected for the courtyard, and other landscape areas that will be shaded for significant portions of the day.
- The street-facing canopy design has been developed, for a more subtle and layers interface with the front of the building.
- The west facade will be addressed similarly to the courtyard-facing exterior walls.

HOUSING AFFORDABILITY

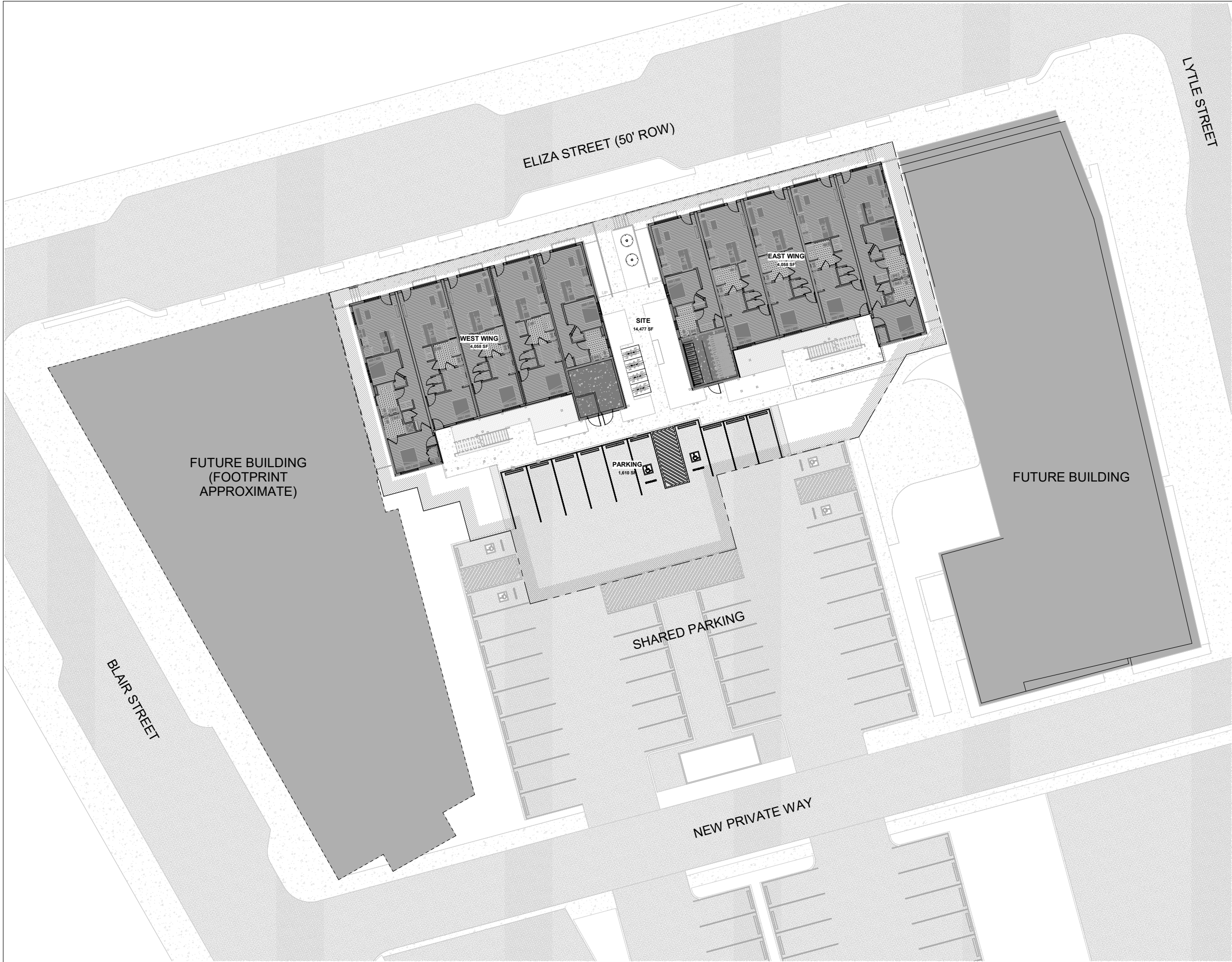
The Project:

- Addresses need for “missing middle” housing, adding local housing stock affordable to renters at the average median income for Pittsburgh
- Supplements the block’s other planned projects, which are focused on tax-credit funded lower-AMI units, for a proportional total spread across affordability levels
- Reduces construction and operating costs through efficient design and off-site fabrication

BLOCK 36

- “Eliza Commons” Phase I (East/Lytle Street side of block): **LIHTC**
- **PROPOSED Phase II (North/Eliza Street side of block): Market Rate / Unsubsidized**
 - subject to pending Inclusionary Zoning Legislation
 - Targeting rents from 80 - 120% AMI

PHASE	0-30% AMI	30 – 60 % AMI	60 – 120% AMI	TOTAL
Lytle	25	15	10	50
Eliza	0	0	30	30
Bliar	24	20	2	46
TOTAL	49	35	42	126
	39%	28%	33%	

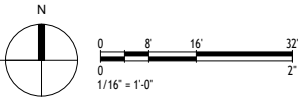


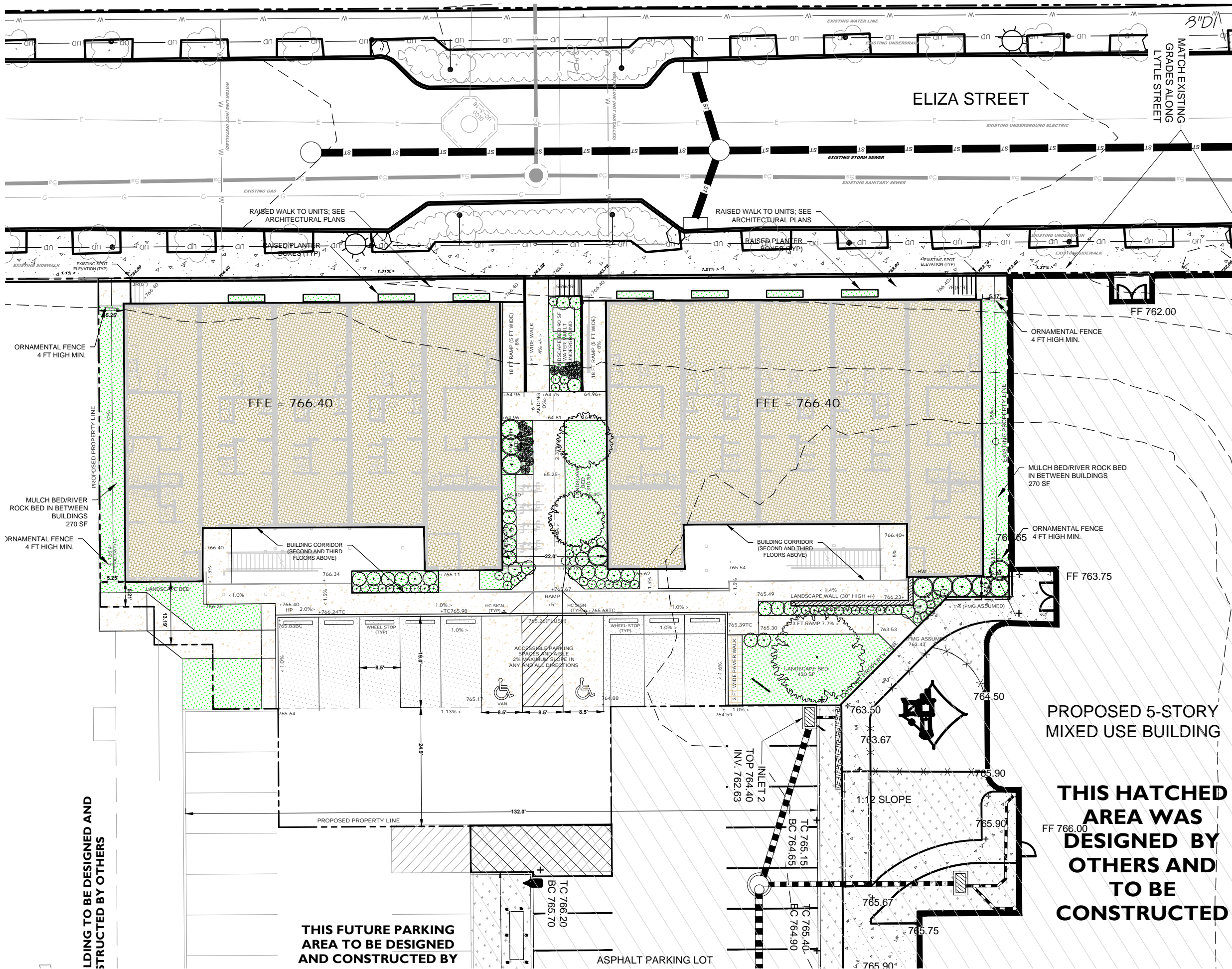
- GENERAL NOTES:
1. DIMENSIONS MARKED AS "CLEAR" DICTATE THE CLEAR DIMENSION FROM FINISH TO FINISH.
 2. DIMENSIONS ARE TO GRIDLINE OR FACE OF STUD, UNLESS OTHERWISE NOTED.
 3. LOCATE DOOR JAMB OF ROUGH OPENING FOR INTERIOR DOORS 3" FROM ADJACENT WALL FRAMING, UNLESS OTHERWISE NOTED.
 4. LOCATE EXHAUST VENT TERMINATIONS 3'-0" MINIMUM FROM OPERABLE DOOR AND WINDOW OPENINGS.
 5. MAINTAIN A POSITIVE SLOPE AWAY FROM BUILDING AT ALL PAVED AND GRADED SURFACES WITHIN 5' OF BUILDING. SLOPE PAVED AREA MIN. 1/4" PER FOOT, LANDSCAPED AREAS MIN. 1/2" PER FOOT. GRADE SITE TO MEET ALL REQUIRED ACCESSIBILITY STANDARDS.
 7. REFERENCE LANDSCAPE / CIVIL DRAWINGS FOR SITE COMPONENTS NOT SHOWN HERE.
 8. NOT ALL ROOF PENETRATIONS ARE SHOWN. COORDINATE WITH OTHER WORK SCOPES.
 9. 0'-0" SET AT FIRST FLOOR - REFERENCE CIVIL TO SET FIRST FLOOR GRADE.
 10. FURNITURE SHOWN FOR REFERENCE ONLY. NOT IN CONTRACT UNLESS OTHERWISE NOTED.
 11. NOT ALL EXTERIOR COMPONENTS MAY BE SHOWN OR INDICATED ON DRAWINGS. CONTRACTOR TO FIELD COORDINATE SIZE, QUANTITIES, LOCATIONS, AND TYPES OF COMPONENTS PRIOR TO COMMENCEMENT OF WORK.

KEYNOTES:

LEGEND:

1 SITE PLAN
SCALE: 1/16" = 1'-0"





SITE DATA (PRELIMINARY):

ZONING: SP-10
BLOCK: 36
DISTRICT: MILL DISTRICT

SITE AREA: 16,100 SQ FT OR 0.37 AC

DWELLING UNITS: 30 UNITS

PARKING:
MINIMUM: NONE
MAXIMUM: 1 SP PER STUDIO, 1.5 SP PER 1 BDRM AND 2 SP PER 2 BDRM - 50 MAXIMUM

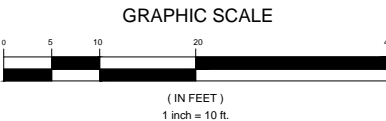
PARKING PROVIDED: 9 TOTAL SPACES (2 ADA/UFAS SPACES)

BICYCLE PARKING PROVIDED: 36 SPACES (30 SPACES INTERNAL)

SITE LEGEND:

- +766.05 PROPOSED SPOT ELEVATION
- +766.24TC PROPOSED TOP OF CURB
- +765.74BC PROPOSED BOTTOM OF CURB
- +766.40HP PROPOSED HIGH POINT
- 2.0%> PROPOSED SLOPE
- YD DN/CO T-765.75 +/- 1-764.04 STORM PIPE WITH YARD DRAIN OR CLEAN OUT
- RD CO ST ROOF DRAIN WITH CLEAN OUT
- SAV SANITARY SEWER PIPE
- PROPOSED CONCRETE PAVEMENT SIDEWALKS, RAMPS AND ADA PARKING SPACES
TOTAL PAVEMENT AREAS - 2,220 SQ FT
- PROPOSED ASPHALT PARKING AREA
TOTAL ASPHALT AREAS - 1,130 SQ FT
- PROPOSED LANDSCAPE/PLANTING BED SEEDING OR SHRUBS AND TREES
TOTAL LANDSCAPE AREAS - 2,700 SQ FT
- PROPOSED BUILDING FOOTPRINT INCLUDING FRONT WALKS, DECKS AND REAR CONNECTING WALKWAYS
TOTAL BUILDING AREAS - 10,050 SQ FT

- PROPOSED NATIVE URBAN TREES - MEDIUM SIZED (20 FT DIAMETER MATURE)
- PROPOSED NATIVE URBAN TREES - SMALL SIZED (12 FT DIAMETER MATURE)
- PROPOSED NATIVE SHRUB - 4 FT DIAMETER MATURE
- PROPOSED NATIVE SHRUB - 3 FT DIAMETER MATURE
- PROPOSED NATIVE SHRUB - 2 FT DIAMETER MATURE
- PROPOSED PERENNIALS



**PROPOSED 5-STORY
MIXED USE BUILDING**

**THIS HATCHED
AREA WAS
DESIGNED BY
OTHERS AND
TO BE
CONSTRUCTED**

**THE BASE INFORMATION SHOWN ON THIS PLAN
WAS PREPARED BY COSMOS TECHNOLOGIES
AND KU RESOURCES**

FLOWERING SHRUBS



VIBURNUM TRILOBUM
"HIGHBUSH CRANBERRY"



ILEX VERTICILLATA
"WINTERBERRY HOLLY"



VIBURNUM TRILOBUM "GRO-
LOW SUMAC"



CLETHRA ALNIFOLIA
"SUMMERSWEET"



"OAKLEAF" HYDRANGEA
QUERCIFOLIA

PLANTING

ORNAMENTAL GRASS



PANICUM VIRGATUM
"SHENANDOAH SWITCH
GRASS"



SCHIZARIUM SCOPARIUM
"CINNAMON STICKS"

PERENNIALS



COREOPSIS V "MOONBEAM"



RUDBECKIA FULGIDA
SULLIVANTI "GOLDSTRUM"

SHRUBS



ILEX GLABRA "SHAMROCK"



"BURKII " JUNIPERUS
VIRGINIANA

TREES



CRATAEGUS CRUS-GALLI INERMIS 'CRUSADER'



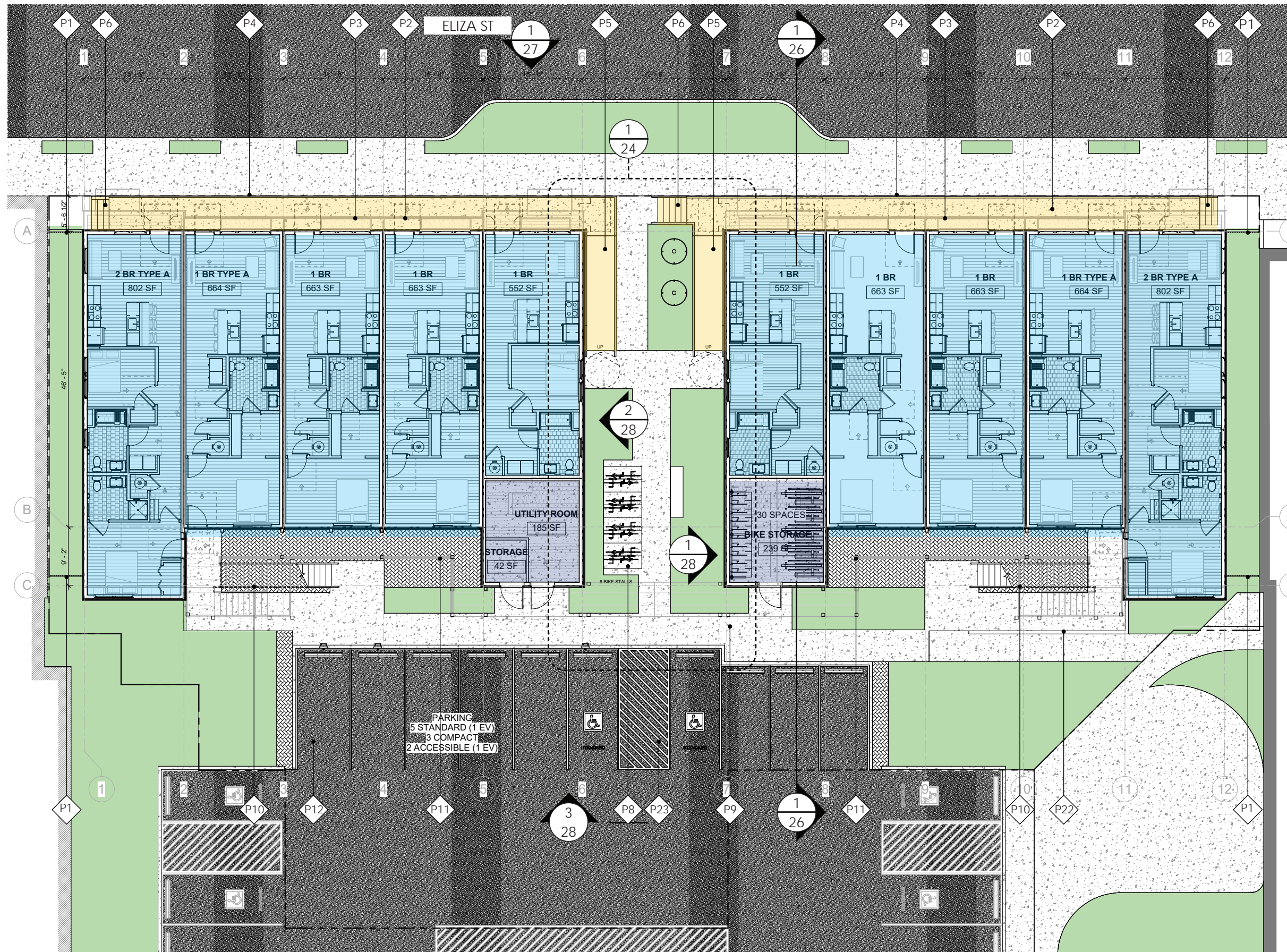
CERCIS CANADENSIS "FOREST PANSY" / "EASTERN
REDBUD"

PERMEABLE PAVERS



GROUND COVER

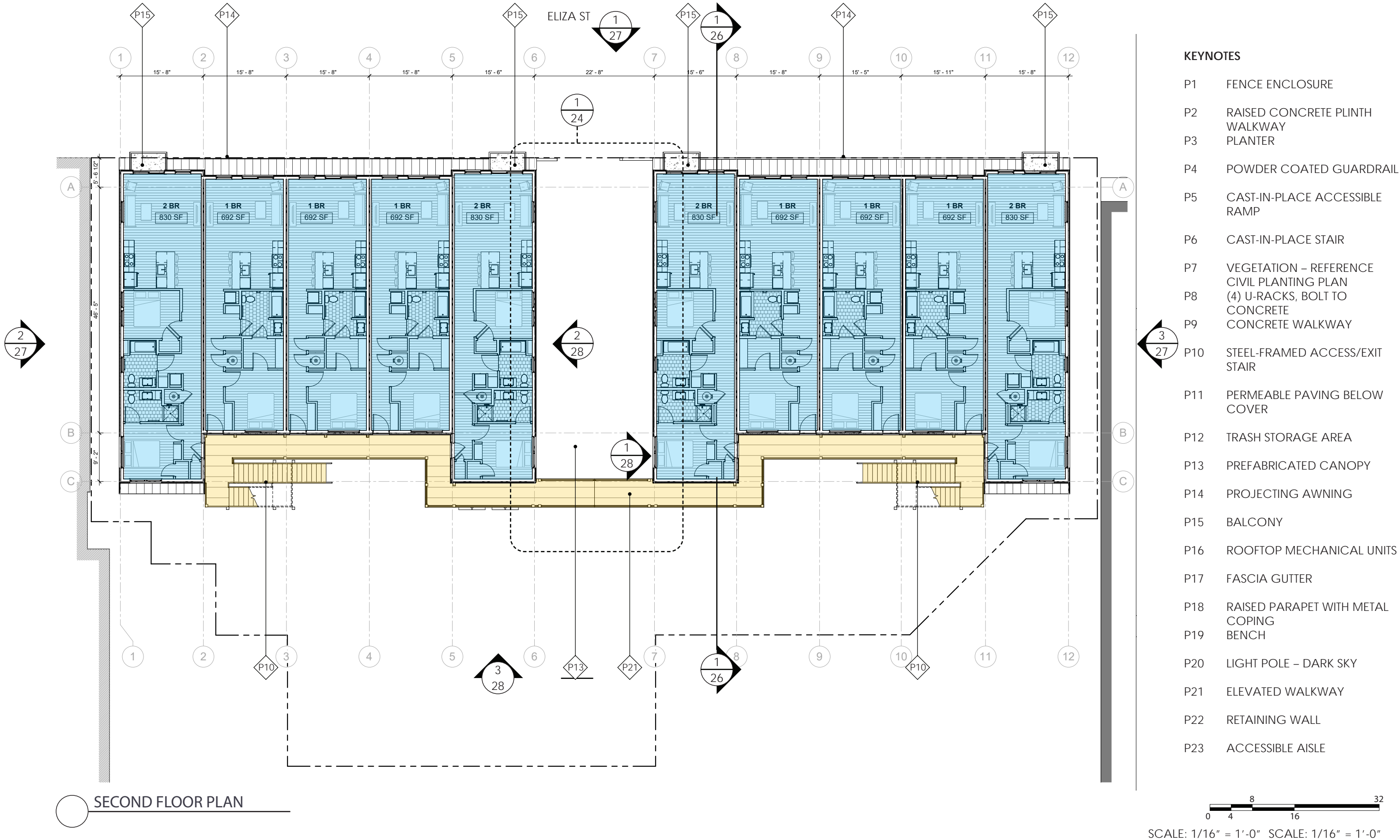


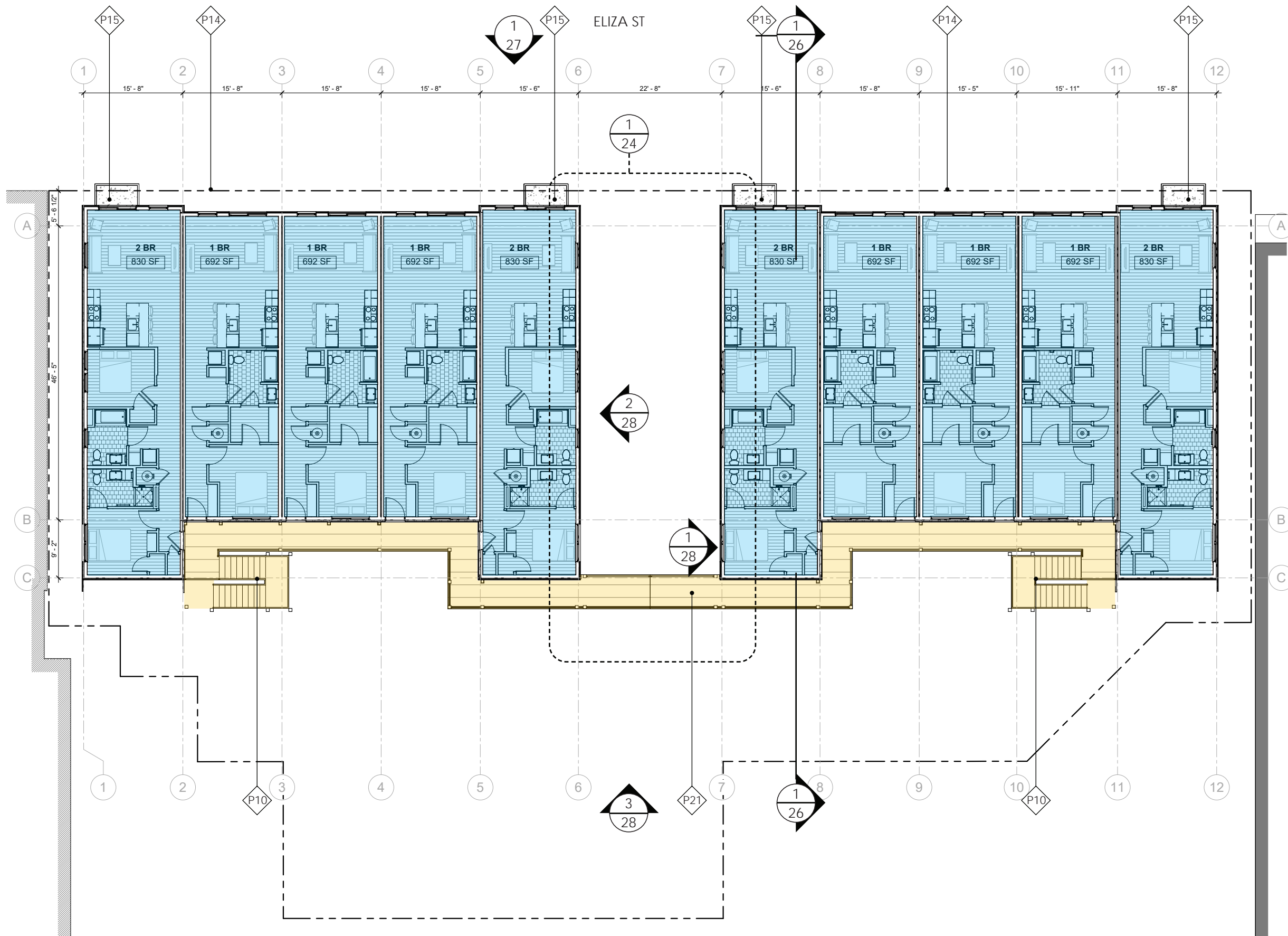


- KEYNOTES**
- P1 FENCE ENCLOSURE
 - P2 RAISED CONCRETE PLINTH WALKWAY
 - P3 PLANTER
 - P4 POWDER COATED GUARDRAIL
 - P5 CAST-IN-PLACE ACCESSIBLE RAMP
 - P6 CAST-IN-PLACE STAIR
 - P7 VEGETATION – REFERENCE CIVIL PLANTING PLAN
 - P8 (4) U-RACKS, BOLT TO CONCRETE
 - P9 CONCRETE WALKWAY
 - P10 STEEL-FRAMED ACCESS/EXIT STAIR
 - P11 PERMEABLE PAVING BELOW COVER
 - P12 TRASH STORAGE AREA
 - P13 PREFABRICATED CANOPY
 - P14 PROJECTING AWNING
 - P15 BALCONY
 - P16 ROOFTOP MECHANICAL UNITS
 - P17 FASCIA GUTTER
 - P18 RAISED PARAPET WITH METAL COPING
 - P19 BENCH
 - P20 LIGHT POLE – DARK SKY
 - P21 ELEVATED WALKWAY
 - P22 RETAINING WALL
 - P23 ACCESSIBLE AISLE

SITE/FIRST FLOOR PLAN

0 4 8 16 32
SCALE: 1/16" = 1'-0"





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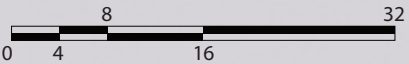
THIRD FLOOR PLAN





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SCALE: 1/16" = 1'-0"

ELIZA STREET PERSPECTIVE ELEVATION - SCREENING STUDY



AERIAL ISOMETRIC - NORTHWEST



NOTE: STREET TREES NOT SHOWN FOR CLARITY

THIRD FLOOR
TOTAL BTZ AREA = 6' x 189'-10" = 1,139 SF
TOTAL PROJECTION = 2(210) = 420 SF
36.87%: OK

SECOND FLOOR
TOTAL BTZ AREA = 6' x 189'-10" = 1,139 SF
TOTAL PROJECTION = 2(210) = 420 SF
36.87%: OK

GROUND FLOOR
TOTAL BTZ AREA = 6' x 189'-10" = 1,139 SF
TOTAL PROJECTION = 0 SF
0%: OK



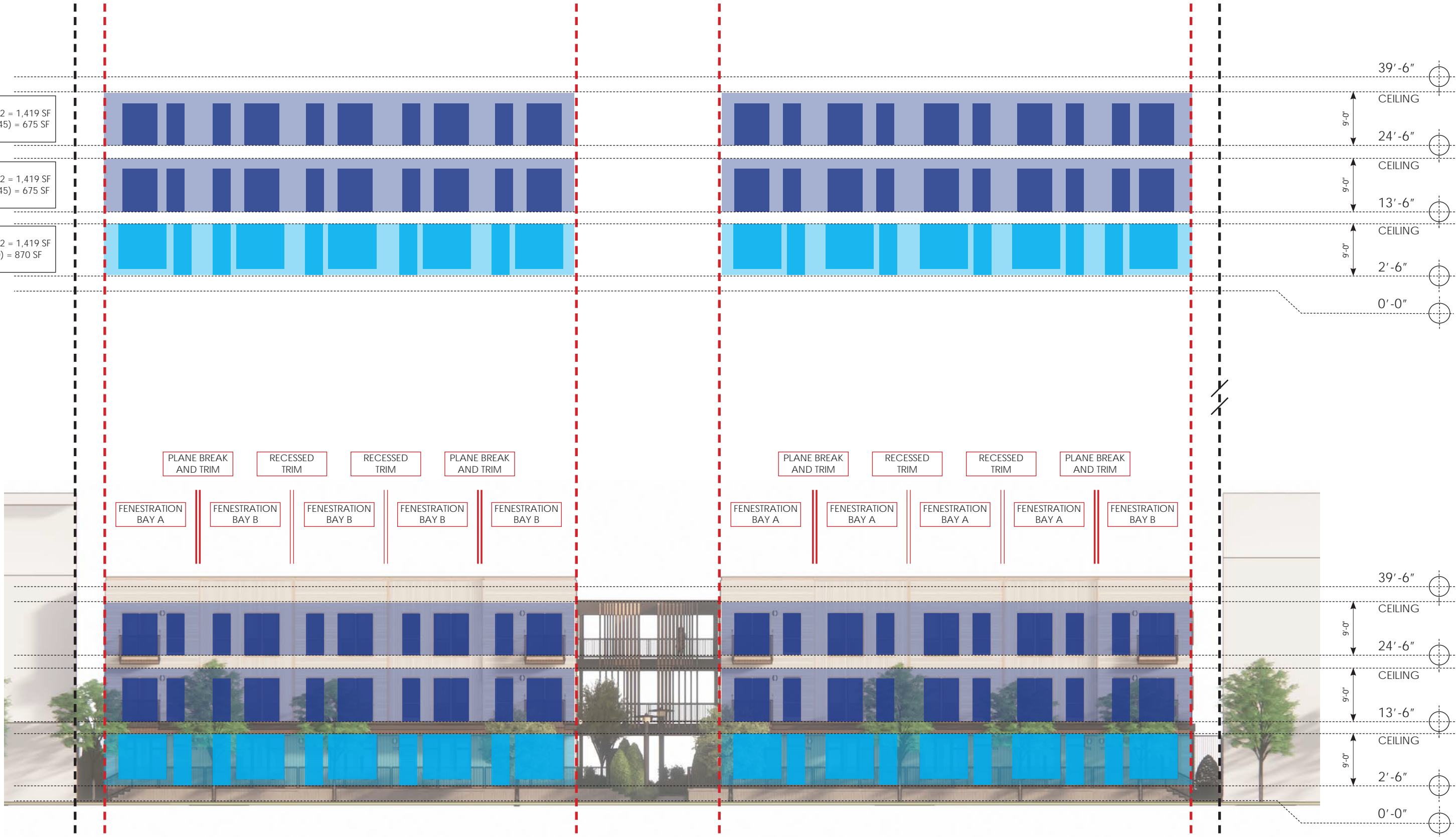
BUILD-TO ZONE
90% MINIMUM
MIN. FRONTAGE = 0.9 X 189'-10" = 170'-10"
PROPOSED STREETWALL = 92' + 92' = 184'



THIRD FLOOR: MIN. 30%
TOTAL WALL = $9 \times 78' - 10'' \times 2 = 1,419$ SF
TOTAL GLAZING = $10(22.5+45) = 675$ SF
47.57%: OK

SECOND FLOOR: MIN. 30%
TOTAL WALL = $9 \times 78' - 10'' \times 2 = 1,419$ SF
TOTAL GLAZING = $10(22.5+45) = 675$ SF
47.57%: OK

GROUND FLOOR: MIN. 60%
TOTAL WALL = $9 \times 78' - 10'' \times 2 = 1,419$ SF
TOTAL GLAZING = $10(27+60) = 870$ SF
61.31%: OK



ELIZA STREET PERSPECTIVE



COURTYARD



1 SITE PLAN PERSPECTIVE
FLOOR PLAN CUT



2 SITE PLAN PERSPECTIVE
ROOF PLAN

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- P22 RETAINING WALL
- P23 ACCESSIBLE AISLE
- P24 PEDESTAL MAILBOXES



AERIAL VIEW INTO COURTYARD FROM NORTH



LIGHT POLE - 14' DARK SKY



BIKE RACK - BELSON CBBR-2CR-SS

PERSPECTIVE VIEWS



VIEW FROM SOUTH PARKING LOT

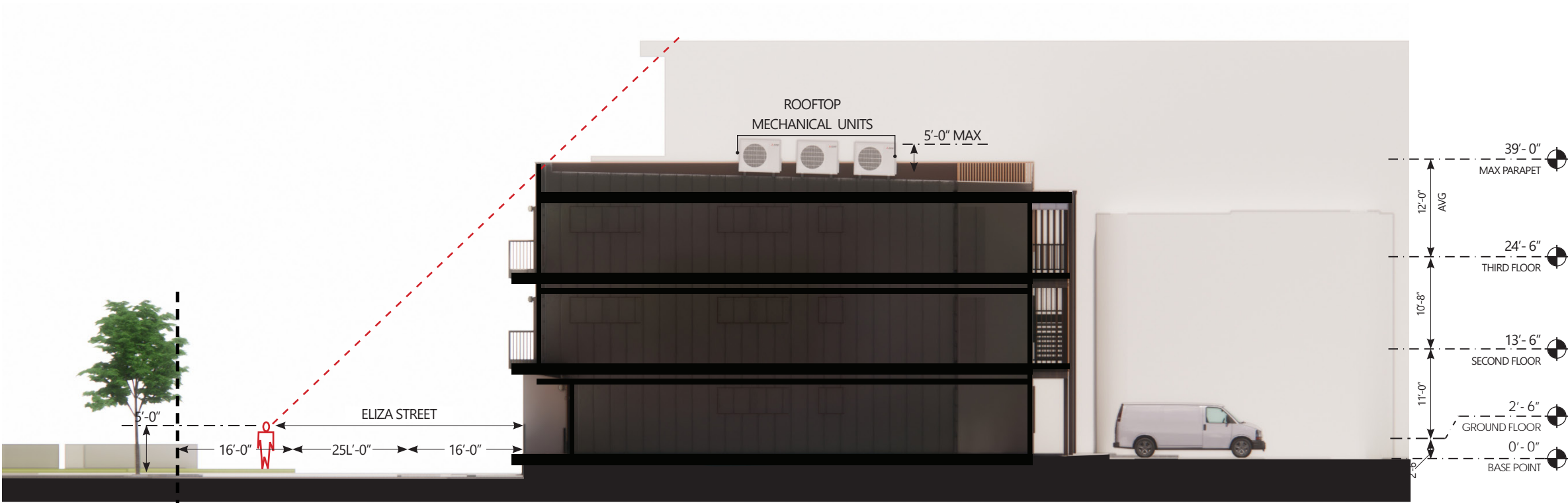


VIEW ONTO ENTRY PLINTH FROM
SIDEWALK, ELIZA STREET

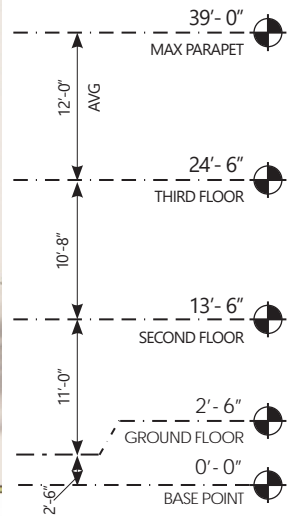


VIEW
TO EAST
FROM
ELIZA
STREET
SIDE
PLINTH,
UNIT
ENTRIES

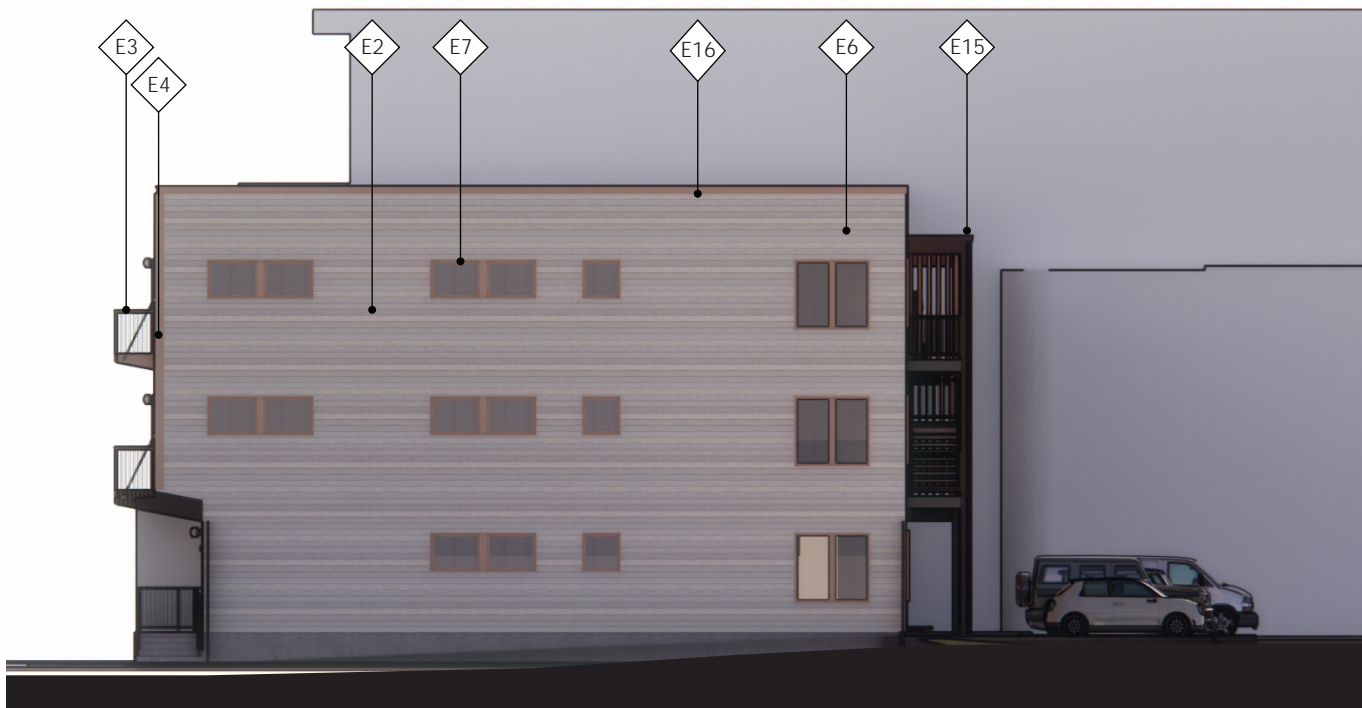
ELIZA STREET PERSPECTIVES



1 BUILDING SECTION - MEP SCREENING



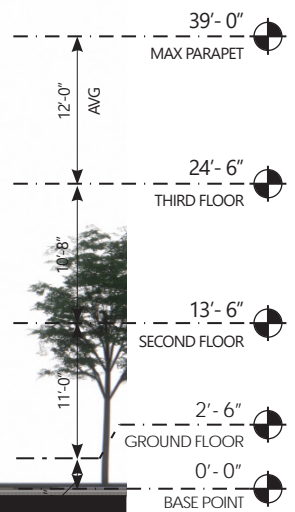
1 NORTH ELEVATION (FRONT)



2 WEST ELEVATION



3 EAST ELEVATION



KEYNOTES

E1 PERMEABLE PAVING BELOW COVER
 E2 PLANK RAINSCREEN CLADDING
 E3 PREFABRICATED ALUMINUM BALCONY - SITE INSTALLED
 E4 WOOD-LOOK OR COLOR MATCH BALCONY PICKETS AND CLADDING
 E5 GLIDING PATIO DOOR, FIBERGLASS, TAN
 E6 SLIDER WINDOW, FIBERGLASS, TAN

E7 CASEMENT WINDOW, FIBERGLASS, TAN
 E8 FIBERGLASS WINDOW MULL, BRONZE
 E9 POWDER COATED STEEL HANDRAIL - BRONZE
 E10 POWDER COATED STEEL GUARDRAIL - BRONZE
 E11 WOOD-LOOK GLAZED FIBERGLASS DOOR
 E12 WOOD-LOOK OPAQUE FIBERGLASS DOOR

E13 FLUSH EXHAUST VENT
 E14 STANDING SEAM METAL ROOF - BRONZE
 E15 FASCIA GUTTER AND METAL FASCIA - BRONZE COLOR
 E16 METAL PARAPET COPING
 E17 WOOD-LOOK SCREENING



SCALE: 1/32" = 1'-0"

ELEVATIONS



1 COURTYARD EAST ELEVATION



2 COURTYARD WEST ELEVATION



3 NORTH ELEVATION (FRONT)

KEYNOTES

E1 PERMEABLE PAVING BELOW COVER
 E2 PLANK RAINSCREEN CLADDING
 E3 PREFABRICATED ALUMINUM BALCONY - SITE INSTALLED
 E4 WOOD-LOOK OR COLOR MATCH BALCONY PICKETS AND CLADDING
 E5 GLIDING PATIO DOOR, FIBERGLASS, TAN
 E6 SLIDER WINDOW, FIBERGLASS, TAN

E7 CASEMENT WINDOW, FIBERGLASS, TAN
 E8 FIBERGLASS WINDOW MULL, BRONZE
 E9 POWDER COATED STEEL HANDRAIL - BRONZE
 E10 POWDER COATED STEEL GUARDRAIL - BRONZE
 E11 WOOD-LOOK GLAZED FIBERGLASS DOOR
 E12 WOOD-LOOK OPAQUE FIBERGLASS DOOR

E13 FLUSH EXHAUST VENT
 E14 STANDING SEAM METAL ROOF - BRONZE
 E15 FASCIA GUTTER AND METAL FASCIA - BRONZE COLOR
 E16 METAL PARAPET COPING
 E17 WOOD-LOOK SCREENING



SCALE: 1/8" = 1'-0"

ELEVATIONS

PALLETTE/INSPIRATION



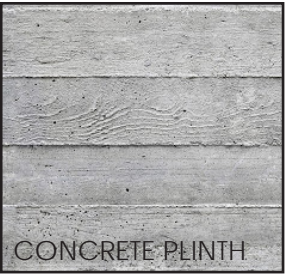
LIGHT TEXTURED PLANK CLADDING



WOOD/FIBER PLANK CLADDING



PLANTERS



CONCRETE PLINTH

PARTIAL ELEVATION - FRONT



WOOD/FIBER PLANK SIDING



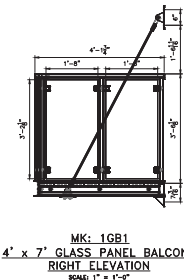
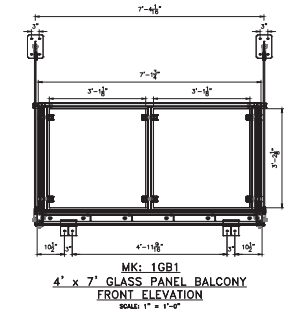
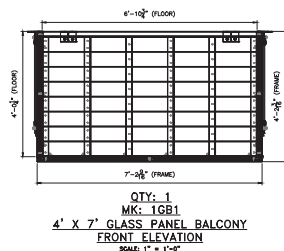
VISION SCREEN/ INFILL



FIBERGLASS WINDOW - ANDERSON 100

PARTIAL ELEVATION - REAR

STREET FRONT DETAILING



PREFABRICATED ALUMINUM BALCONY - SITE INSTALLED



FLUSH EXHAUST VENT



EXTERIOR WALL SCONCE LIGHT - DARK SKY



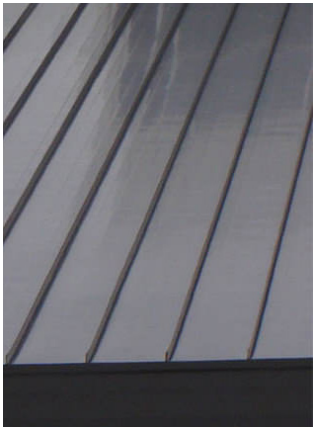
GLIDING PATIO DOOR - FIBERGLASS, TAN FRAME



WOOD COLOR MATCH BALCONY PICKETS AND CLADDING



OPERABLE CASEMENT WINDOW - FIBERGLASS, TAN FRAME



STANDING SEAM METAL AWNING - BRONZE COLOR



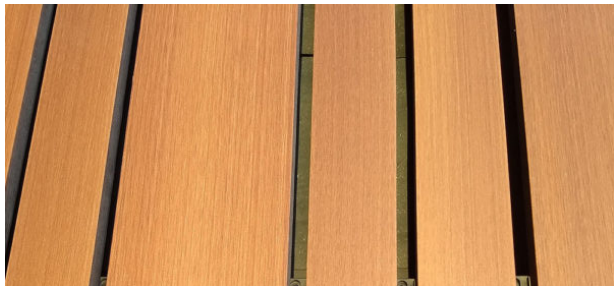
EXTERIOR WALL RECESS LIGHT - DARK SKY



WINDOW - BRONZE COLOR



WOOD-LOOK GLAZED FIBERGLASS DOOR



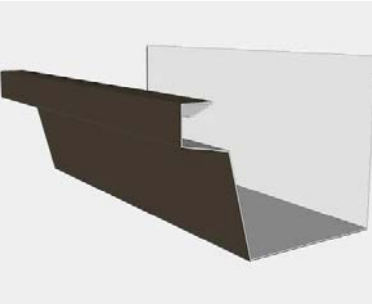
WOOD FIBER PLANK CLADDING



POWDER COATED STEEL HANDRAIL - BRONZE



REAR DETAILING



FASCIA GUTTER AND METAL
FASCIA - BRONZE COLOR



WOOD-LOOK
OPAQUE FIBERGLASS
DOOR



POWDER COATED STEEL HANDRAIL - BRONZE

SCREENING
ELEMENTS



EXTERIOR WALL
SCONCE LIGHT - DARK
SKY



EXTERIOR
DOWNLIGHT -
DARK SKY



SLIDER WINDOW - FIBERGLASS, TAN
FRAME

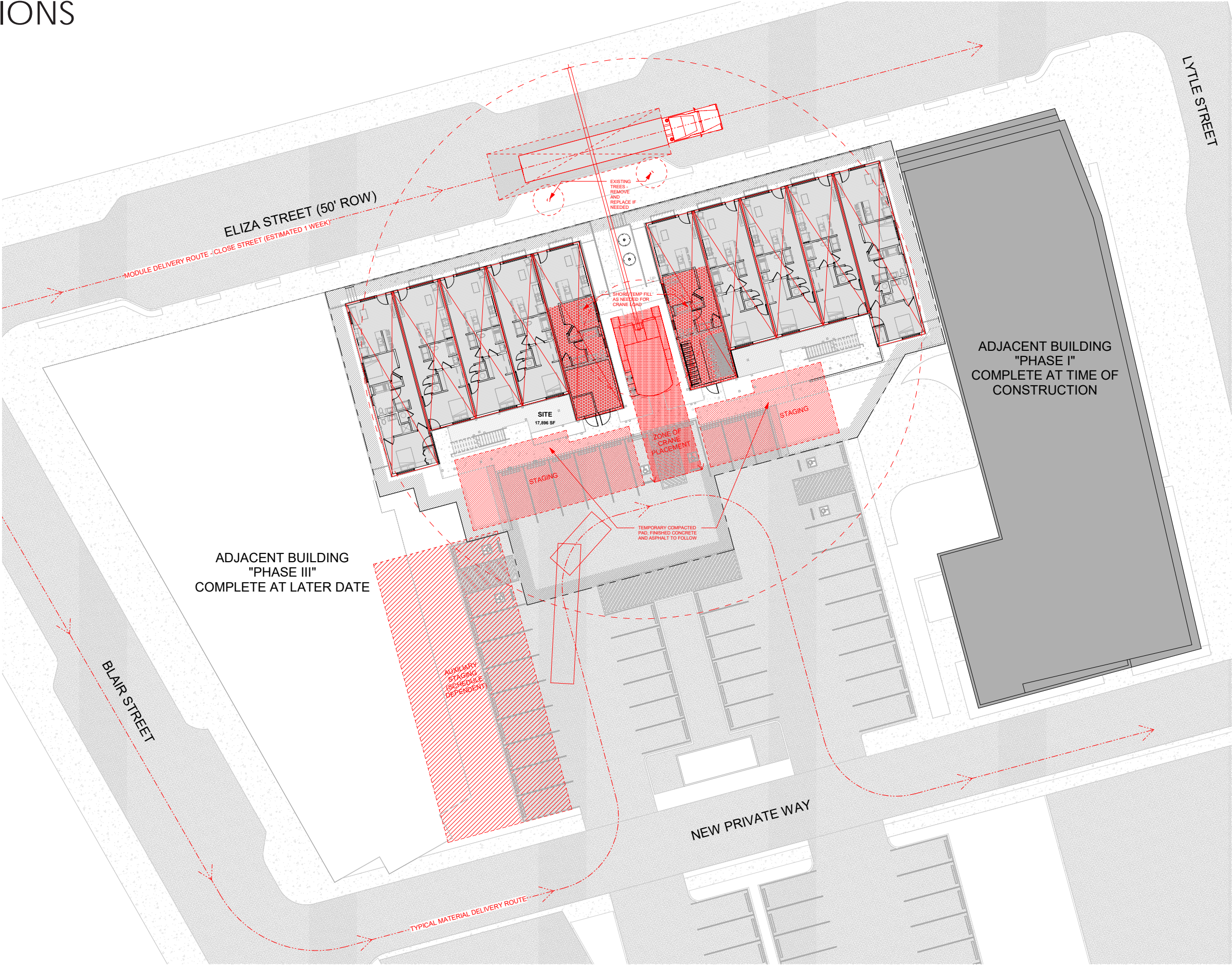
REPRESENTATIVE PRECEDENT



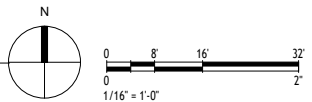
CONSTRUCTION OPERATIONS

Construction Sequencing

- Initial rough grading, utilities, and foundation installation will be approximately 4 months duration
- Off-site fabrication of modules will be concurrent with site work. Module installation on site will proceed after foundations are in place and sufficiently cured.
- Cladding installation, installation of panelized roof parapets, roof installation, balconies and stairs, final grading, planting, and concrete and paver flatwork will be completed after modules are installed
- Final utility connection and tie-in, completion of leave-outs and remaining interior finishes, and installation of remaining FFE will be completed in unit interiors
- Final punch and closeout will be completed on site



1 CRANE AND STAGING PLAN
SCALE: 1/16" = 1'-0"



CONSTRUCTION OPERATIONS

Material Loading/Routing

- Module deliveries along Eliza Street, to be closed for approximately two weeks
- Regular deliveries for all other material via shared parking accessed via private way

Crane

- A crane will be on site for approximately two weeks, to install modules
- Foundations will be braced or temporarily backfilled if needed, to shore against weight of loaded crane

Right-of-Way Work

- Two sanitary, one sewer, one fire and one domestic tap to Eliza Street will be installed during first phase of site work.
- The street will be closed for this work. Work will be coordinated to minimize total closure time.
- Public Work permits to be obtained for all ROW closures

On-Site Staging

- Designated staging areas to be used for job trailer, dumpsters for construction debris, and material staging for on-site construction
- If sequencing of Phase III allows, a portion of this site may be used for Phase II (proposed Project)
- Modules will be temporarily staged at an undeveloped property to be identified in the district. Modules will be covered and protected from the weather during this time, and visual nuisance will be minimized

Waste

- All waste from unit manufacturing will be disposed of off-site
- On-site disposal areas to be screened from view, emptied mininum once per week

Erosion Control

- Erosion and sedimentation control measures will be installed at site perimeter, as required per NPDES permit
- Filters will be installed at all storm sewer inlets

Neighborhood Impact

- Regular work ours will be during the daytime only, between approximately 7:00am and 5:00pm. The use of heavy equipment and loud tools will be focused after 8:00am. Night lighting will be only as needed for security and safety.
- Traffic and deliveries will be routed from the highway directly to the site, avoiding adjacent neighborhood streets
- Parking for contractors will be located elsewhere on Block 36, or adjacent unoccupied blocks
- Dust will be controlled by periodic watering, in conformance with Allegheny County code.

OWNERS ADOPTION

KNOW ALL PERSONS BY THESE PRESENTS: THAT ALMONO LP, A PENNSYLVANIA LIMITED PARTNERSHIP, BY ALMONO, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER, BY U3 ADVISORS, INC., A DELAWARE CORPORATION, ITS AUTHORIZED AGENT, BY TODD STERN, ITS MANAGING DIRECTOR, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY, SITUATED IN THE 15TH WARD, CITY OF PITTSBURGH, ALLEGHENY COUNTY, PENNSYLVANIA

IN WITNESS WHEREOF THE SAID LIMITED PARTNERSHIP HAS CAUSED ITS SEAL TO BE AFFIXED BY THE HAND OF ITS AUTHORIZED AGENT, THIS _____ DAY OF _____, 20____.

ATTEST:

BY: _____
NAME: TODD STERN
TITLE: MANAGING DIRECTOR OF U3 ADVISORS, INC.

NOTARY PUBLIC

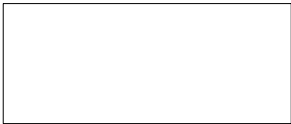
COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF ALLEGHENY) SS:

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED TODD STERN, BY HIMSELF AS AUTHORIZED AGENT.

IN WITNESS WHEREOF, I HERE UNTO SET MY HAND AND OFFICIAL SEAL.
SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.
WITNESS MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

MY COMMISSION EXPIRES:

THE _____ DAY OF _____, 20____.



NOTARY PUBLIC
COMMONWEALTH OF PENNSYLVANIA

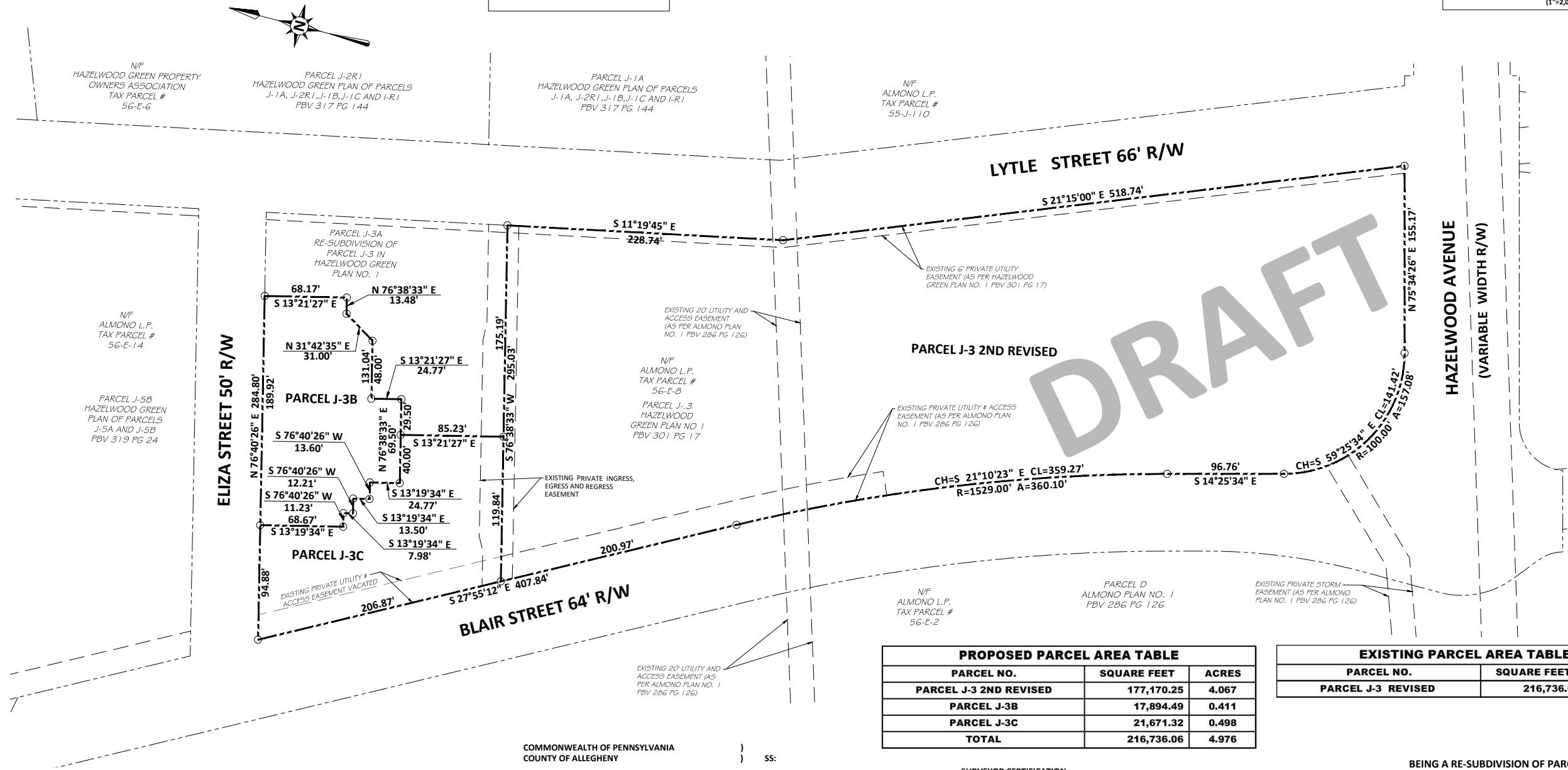
CERTIFICATION OF TITLE AND NO MORTGAGE

WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE RE-SUBDIVISION OF PARCEL J-3 REVISED IN THE HAZELWOOD GREEN PLAN NO. 1 IS IN THE NAME OF ALMONO LP AND IS RECORDED IN DEED BOOK VOLUME 11455 PAGE 542. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

WITNESS _____ OWNER _____

BASIS OF BEARING AND DISTANCES

BASIS OF BEARING IS NAD 83 PA SOUTH ZONE, US FOOT



PROPOSED PARCEL AREA TABLE		
PARCEL NO.	SQUARE FEET	ACRES
PARCEL J-3 2ND REVISED	177,170.25	4.067
PARCEL J-3B	17,894.49	0.411
PARCEL J-3C	21,671.32	0.498
TOTAL	216,736.06	4.976

EXISTING PARCEL AREA TABLE		
PARCEL NO.	SQUARE FEET	ACRES
PARCEL J-3 REVISED	216,736.06	4.976

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF ALLEGHENY) SS:

RECORDED IN THE OFFICE OF THE DEPARTMENT OF REAL ESTATE OF THE COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME _____, PAGE(S) _____.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____.

JERRY TYSKIEWICZ, MANAGER

SURVEYOR CERTIFICATION

I, ROBERT R. BEDNAR, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

DATE _____ NAME: ROBERT R. BEDNAR
REG. NO. SU-051042-E

No.	Date	Description	By

RECORD OWNER
ALMONO LP
C/O REED SMITH
REED SMITH CENTRE
225 FIFTH AVENUE
PITTSBURGH, PA 15222

ZONING DISTRICT : SP 10
SPECIAL PLANNING - 10

BEING A RE-SUBDIVISION OF PARCEL J-3 REVISED
IN HAZELWOOD GREEN PLAN NO. 1
AS RECORDED IN PLAN BOOK VOLUME _____, PAGE _____

RE-SUBDIVISION OF PARCEL J-3 REVISED IN HAZELWOOD GREEN PLAN NO. 1		
SITUATE IN: 15th WARD, CITY OF PITTSBURGH ALLEGHENY COUNTY, PENNSYLVANIA		
Drawn By: WTS	Scale: 1"=50'	Drawing No.: 2-430 J-3 SUBDIVISION
Checked By: RRB	Date: JULY 7, 2025	Sheet No.: 1 of 1
Approved By: RRB		Filename: ALM24430HAHS

**KU Resources, Inc.**

117 SAGAMORE HILL ROAD
TEL: (724) 327-7474

PITTSBURGH, PA 15239
FAX: (724) 325-2734

CITY OF PITTSBURGH
DEPARTMENT OF CITY PLANNING

APPROVED: _____
CITY PLANNING COMMISSION

CHAIRMAN

ATTEST: _____
SECRETARY

DRAFT
SUBDIVISION
PLAN
FOR
REFERENCE
ONLY

NOT TO SCALE

